



## AGENDA

Planning & Zoning Commission Regular Meeting  
Janell Whitlock Municipal Complex Council Chambers  
114 S. Halagueno Street  
Carlsbad, New Mexico  
April 6, 2026 at 5:00 PM

### Agenda

1. Roll Call and Determination of Quorum
2. Approval of Meeting Minutes — March 2, 2026
3. Consider approval of a Variance from Ord. 56-90(b) to allow a five-foot (5') rear setback instead of the required twenty-foot (20') rear setback for the property located at 3802 North Pat Garrett Road, zoned "R-1" Residential 1 District
4. Consider a recommendation to City Council regarding a request to change the zoning to approximately 0.28 acres located at 2305 West Jackson Street, legally described as Tract 2, Jackson Replat Subdivision, from "C-2" Commercial 2 District to "R-1" Residential 1 District
5. Consider a recommendation to City Council regarding a request for Temporary Housing at 3501 Hidalgo Rd, a property approximately 2.5 acres in size, legally described as Tract 2, Summary Replat of a tract of land located in the SW1/4, NW1/4, Section 26, Township 22 South, Range 26 East
6. Report of Summary Review Subdivisions

---

### FOR INFORMATION ONLY

Agendas and City Council minutes are available on the City website: [cityofcarlsbadnm.com](http://cityofcarlsbadnm.com) and may be viewed in the Office of the City Clerk during regular business hours.

### PLANNING AND ZONING COMMISSION MEETING SCHEDULE

- Regular Meeting — May 4, 2026

If you require a hearing interpreter, language interpreters or auxiliary aids in order to attend and participate in the above meeting, please contact the City Manager's office at (575) 887-1191 at least 48 hours prior to the scheduled meeting time

**LINKED MINUTES OF A REGULAR MEETING OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF CARLSBAD, NEW MEXICO, HELD IN THE JANELL WHITLOCK MUNICIPAL COMPLEX BUILDING ON MARCH 2, 2026, AT 5:00 P.M.**

Present:	James McCormick	Chairperson
	Trent Cornum	Commissioner
	Valerie Branson	Commissioner
	Linda Wilson	Commissioner
	Denise Madrid-Boyea	Commissioner

Absent:

Also Present:	Jeff Patterson	Planning Director
	Trysha Ortiz	Deputy Planning Director
	Barbara Hodgson	City Attorney
	Ken Ahrens	Deputy City Manager
	Mike Abell	Director of Utilities
	K.C. Cass	Chief of Operations
	Jalynn Dominguez	Open Meetings Act Manager
	JoAnne Jaure	Deputy City Clerk
	Edgar Gonzalez	328 Farris St
	Mary Cruz-Alvarez	328 Farris St
	Valen Martinez	Citizen
	Shelly Thompson	Citizen
	Faith Quintela	Citizen
	Roselle Shipman	Citizen
	Zack Downing	Citizen

Time Stamps and headings below correspond to recording of meeting and the recording is hereby made a part of the official record.

0:00:00            **Call Meeting to Order**

0:00:44            **1. ROLL CALL AND DETERMINATION OF QUORUM**

Roll was called, Determining the presence of a quorum.

0:01:10            **2. APPROVAL OF MEETING MINUTES - FEBRUARY 2, 2026**

0:01:20            **MOTION**

The motion was made by Commissioner Wilson and seconded by Commissioner Cornum to approve meeting minutes for - February 2, 2026.

0:01:21

**VOTE**

The vote was as follows: Yes - McCormick, Cornum, Branson, Wilson; No - None; Absent - None; Abstain - Madrid-Boyea; the motion carried

0:01:45

**3. REMOVE FROM TABLE A CONSIDERATION OF RECOMMENDATION TO CITY COUNCIL REGARDING A REQUEST TO CHANGE THE ZONING TO APPROXIMATELY 0.67 ACRES LOCATED AT 328 FARRIS ST. FROM "R-1" RESIDENTIAL 1 DISTRICT TO "C-1" COMMERCIAL 1 DISTRICT**

0:02:03

**MOTION**

The motion was made by Commissioner Wilson and seconded by Commissioner Madrid-Boyea to approve Remove from Table a Consideration of recommendation to City Council regarding a request to change the zoning to approximately 0.67 acres located at 328 Farris St. from "R-1" Residential I District to "C Commercial 1 District

0:02:16

**VOTE**

The vote was as follows: Yes - McCormick, Cornum, Branson, Wilson, Madrid-Boyea; No - None; Absent - None; the motion carried.

0:02:36

**4. CONSIDER A RECOMMENDATION TO CITY COUNCIL REGARDING A REQUEST TO CHANGE THE ZONING FOR APPROXIMATELY 0.67 ACRES LOCATED AT 328 FARRIS ST., LEGALLY DESCRIBED AS TRACT 17, IN THE SW/4 OF THE NW/4 OF SECTION 20, TOWNSHIP 22S, RANGE 27E, FROM "R-1" RESIDENTIAL 1 DISTRICT TO "C-1" COMMERCIAL 1 DISTRICT**

**Mr. Patterson** stated that the request is to change the zoning designation of the property located at 328 Farris St. from "R-1 Residential 1 District to "C-1" Commercial 1 District. He explained that the properties located to the north, south, east, and west of the subject property are all zoned "R-1" Residential 1 District. **Mr. Patterson** noted that approval of this request would create a spot zone. He stated that, after internal review, City staff and the Planning and Zoning Department recommend denial of the request.

**Chairman McCormick** asked Mr. Gonzalez what he intends to do with the property. **Mr. Gonzalez** stated that he purchased the property with the intention of building a house. He explained that when he applied for a building permit with the City, he was informed that there was no feasible way to connect the property to the City sewer line. He stated that he then considered installing a septic system; however, the property is not large enough to accommodate one. **Mr. Gonzalez** stated that, due to these limitations, he revised his proposal and is now requesting to rezone the property to commercial in order to establish a small business for storage.

**Chairman McCormick** asked Mr. Patterson how far the sewer line is from the property. **Mr. Patterson** stated that the sewer line is located in the alley and is too far from the property for a standard connection. He stated that if the line is not deep enough, a

pump system would be required to facilitate the sewer connection. **Chairman McCormick** asked whether the surrounding properties are connected to the City sewer system. **Mr. Patterson** said yes.

**Chairman McCormick** asked Mr. Gonzalez if he is requesting the zone change because he intends to establish a business that would not require a sewer connection. **Mr. Gonzalez** said yes. He stated that after visiting the City Planning and Zoning Department, he was informed that there is no feasible way to connect the property to the City sewer system. **Mr. Gonzalez** stated that he was advised the cost to connect to the sewer would be approximately \$160,000. He explained that he is therefore planning to construct a storage facility, as it would not require a sewer connection.

**Commissioner Cornum** asked Mr. Gonzalez whether his preference was to build a residential home on the property or if establishing a commercial use was his priority. **Mr. Gonzalez** stated that he would prefer to build a residence, however, without access to the sewer system, that option is not feasible.

**Commissioner Cornum** asked Mike Abell whether a city easement exists only on the closest sewer line. **Mr. Abell** stated that the sewer line is very shallow and runs to the east, and that the line located to the north is also very shallow. He explained that a small residential lift station would likely be required to connect to the sewer system. **Mr. Abell** stated that staff recommended the applicant approach the neighboring property owner to the east to request a utility easement in order to facilitate a connection to the sewer line.

**Commissioner Madrid-Boyea** asked Mr. Gonzalez what he was currently using the property for. **Mr. Gonzalez** stated that there had been a semi-truck located on the property because he works with semi-trucks. He explained that after receiving a call from the City informing him that commercial trucks are not permitted on the property, he removed the vehicle. **Commissioner Madrid-Boyea** asked Mr. Gonzalez if he had spoken with the neighbors to the east regarding the possibility of obtaining a utility easement. **Mr. Gonzalez** stated that he had spoken with several neighbors; however, after consulting with the City he was advised not to pursue an easement because if the neighboring property were sold, the easement might not remain in effect.

**Commissioner Cornum** stated that there are septic systems that could potentially be installed on the property; however, they would likely be more costly. He noted that there are still options available that would allow Mr. Gonzalez to construct the residential home he originally intended.

**0:20:51** **Chairman McCormick** asked if anyone would like to speak regarding this item.

**Valen Martinez** addressed the Commission and stated that allowing the property to transition to commercial use, such as a storage facility or other business, could increase traffic, noise, lighting, and overall activity in the area. She expressed concern that these changes would negatively impact the quiet residential character of the neighborhood. She stated that a new school is being constructed near the property and stated that traffic concerns should be top priority. She explained that introducing additional traffic from a commercial property, combined with traffic associated with the new school, could create potential safety risks for students, families, and pedestrians.

**Shelly Thompson** stated that she resides directly in front of the subject property. She expressed concern that the activities currently occurring on the property have created a significant amount of noise as well as unpleasant odors. She stated that her home was constructed in 2018 and that she completed all required steps and obtained the necessary permits from the City prior to building and moving into the residence.

**Faith Quintela** stated that she has previously experienced issues with trucks entering and leaving the property. She expressed concern that the truck traffic creates unsafe conditions for children living in the area.

**Mary Cruz-Alvarez** stated that she is the daughter of Mr. Gonzalez and provided the Commission with a proposed layout for the property. She explained that the layout is primarily intended for storage units and RV storage locations. She stated that the RV storage would be designed to keep the vehicles out of the way for the owners' convenience.

**Roselle Shipman** stated that she resides behind the subject property and expressed concern that allowing the property to be rezoned for commercial use could result in any type of business being established there. She noted that her security cameras are frequently triggered by individuals leaving the property through the alley. She stated that increased traffic from a commercial use would not be ideal for residents in the neighborhood and expressed concern that introducing a commercial property into an already densely developed residential area could create potential safety issues in the future.

0:35:27                    **MOTION**

The motion was made by Commissioner Branson and seconded by Commissioner Corum to deny a recommendation to City Council regarding a request to change the zoning for approximately 0.67 acres located at 328 Farris St., legally described as Tract 17, in the SW/4 of the NW/4 of Section 20, Township 22S, Range 27E, from "R-1" Residential 1 District to "C-1" Commercial 1 District

0:35:37                    **VOTE**

The vote was as follows: Yes - McCormick, Cornum, Branson, Wilson, Madrid-Boyea; No - None; Absent - None; Abstain - None; the motion carried

0:36:45      **5. CONSIDER APPROVAL OF THE KIRCHER STREET ATTAINABLE HOUSING SUBDIVISION PRELIMINARY PLAT, CREATING 44 NEW LOTS, LOCATED AT 813 KIRCHER ST., ZONED "R-2" RESIDENTIAL 2 DISTRICT PURSUANT TO THE CARLSBAD CODE OF ORDINANCES, CHAPTER 47**

**Mr. Patterson** stated that this item is a request for approval of the Kircher Street Attainable Housing Subdivision Preliminary Plat, located at 813 Kircher Street. He stated that the property is zoned "R-2" Residential 2 District and that the City of Carlsbad is the developer of the project. He stated that the homes within the subdivision will be marketed to low- to moderate-income households as part of the City's efforts to address the shortage of affordable housing in Carlsbad. He stated that the City is currently working with design professionals on the development plans and confirmed that the subject property is owned by the City. **Mr. Patterson** stated that, if the preliminary plat is approved, site work is expected to begin within the next month.

**Commissioner Cornum** asked Mr. K.C. Cass whether a single developer or construction company would be responsible for the project. **Mr. Cass** responded that all aspects of the project must comply with the State Affordable Housing Act. He stated that staff is currently preparing a Request for Proposal (RFP) and that no decision has yet been made regarding which entity will develop or manage the project. He explained that, once selected, the developer and property manager will be responsible for constructing the homes selling them, and managing the properties for a minimum period of 20 years.

**Commissioner Madrid-Boyea** asked about the availability of utilities for the project. **Mr. Cass** stated that the utilities are currently in the design phase. He noted that the County is assisting with funding for the project.

0:43:14      **Chairman McCormick asked if anyone would like to speak regarding the item. No one appeared and the Chairman declared the public hearing closed and reconvened the Planning and Zoning Commission into regular session.**

0:43:33      **MOTION**

The motion was made by Commissioner Wilson and seconded by Commissioner Madrid-Boyea to approve the Kircher Street Attainable Housing Subdivision preliminary plat, creating 44 new lots, located at 813 Kircher St., zoned "R-2" Residential 2 District pursuant to the Carlsbad Code of Ordinances, Chapter 47

0:43:38      **VOTE**

The vote was as follows: Yes - McCormick, Cornum, Branson, Wilson, Madrid-Boyea; No - None; Absent - None; Abstain - None; the motion carried

0:43:54      **6. CONSIDER APPROVAL OF THE PEACH LANE AND CANAL STREET SUBDIVISION PRELIMINARY PLAT, CREATING 14 NEW LOTS FOR**

**RESIDENTIAL DEVELOPMENT, LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF EAST PEACH LANE AND NORTH CANAL STREET, ZONED "R-2" RESIDENTIAL 2 DISTRICT**

0:44:17

*Commissioner Wilson recused herself from this item due to a conflict of interest*

**Mr. Patterson** stated that this item is a request for approval of a preliminary plat that would create 14 new lots. He said that the subject property is located at the southeast corner of North Canal Street and East Peach Lane. The property was recently annexed into the City of Carlsbad and is zoned "R-2" Residential 2 District. He stated that the proposed layout of the 14 lots is intended for single-family housing. The entrance to the development will be from North Canal Street, and a new street will be constructed to provide access to the cul-de-sac. He stated that the new street will be approximately 500 feet from North Canal Street and will not connect to or provide access through East Peach Lane to the north. All new homes will face the new street, with access to the lots provided along that street. **Mr. Patterson** stated that the applicant intends to provide utilities to each new lot, and that utilities are available along North Canal Street. He stated that, following an internal review, City staff and the Planning and Zoning Department recommend approval of the request subject to the following conditions: The developer and engineer shall submit construction plans for review by City staff. The developer shall provide water and sewer models, including usage and load capacity. The developer shall provide plans detailing how the development will provide sewer services. The developer and engineer shall continue to coordinate with City staff regarding the design and installation of infrastructure. City infrastructure inspectors shall monitor the installation of the approved infrastructure, and upon completion, City staff shall inspect and approve the installed infrastructure.

**Chairman McCormick** asked Zack Downing if he understood all the conditions that were asked if approved. **Mr. Downing** said yes.

**Commissioner Madrid-Boyea** asked Mr. Patterson whether the cul-de-sac turnaround would be accessible for emergency personnel. **Mr. Patterson** stated that the cul-de-sac is designed to have a diameter of 100 feet, with a paved diameter of 80 feet to provide sufficient space for trash trucks and emergency vehicles to maneuver. He further noted that if the cul-de-sac meets or exceeds the 100-foot diameter, it will satisfy all applicable requirements.

0:49:38

**Chairman McCormick** asked if anyone would like to speak regarding the item. No one appeared and the Chairman declared the public hearing closed and reconvened the Planning and Zoning Commission into regular session.

0:49:59

**MOTION**

The motion was made by Commissioner Cornum and seconded by Commissioner Branson to approve the Peach Lane and Canal Street Subdivision preliminary plat, creating 14 new lots for residential development, located at the southeast corner of the intersection of East Peach Lane and North Canal Street, zoned "R-2" Residential 2 District

0:50:02

**VOTE**

The vote was as follows: Yes - McCormick, Cornum, Branson, Madrid-Boyea; No - None; Absent - None; Recused - Wilson; Abstain - None; the motion carried

0:50:23

**7. CONSIDER APPROVAL FOR A REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW A HOME OCCUPATION (ATTORNEY OFFICE) TO BE LOCATED AT 1906 SENTRY CIRCLE ZONED "R-1" RESIDENTIAL 1 DISTRICT**

0:50:42

*Commissioner Madrid-Boyea recused herself from this item due to a conflict of interest*

**Mr. Patterson** stated that this item is a request for a conditional use permit to operate an attorney's office from the applicant's residential home address. He explained that home occupations are permitted as a conditional use in the "R-R," "R-1," "R-2," and "C-1" zoning districts, and that approval of a conditional use permit, along with a City of Carlsbad business license, is required to operate such a business. **Mr. Patterson** stated that an attorney's office is an allowable use under a conditional use permit. He stated that, following an internal review, City staff and the Planning and Zoning Department recommend approval of the request.

**Chairman McCormick** asked Ms. Madrid-Boyea if she is able to comply with all of the requirements set forth with the conditional use permit. **Ms. Madrid-Boyea** said yes.

0:55:54

**Chairman McCormick** asked if anyone would like to speak regarding the item. No one appeared and the Chairman declared the public hearing closed and reconvened the Planning and Zoning Commission into regular session.

0:56:18

**MOTION**

The motion was made by Commissioner Wilson and seconded by Commissioner Branson to approve for a request for a Conditional Use Permit to allow a Home Occupation (Attorney Office) to be located at 1906 Sentry Circle, zoned "R-1" Residential 1 District

0:56:20

**VOTE**

The vote was as follows: Yes - McCormick, Cornum, Branson, Wilson; No - None; Absent - None; Recused - Madrid-Boyea; Abstain - None; the motion carried

0:56:41      **8.      REPORT OF SUMMARY REVIEW SUBDIVISIONS**

**Mr. Patterson** stated that the final plat is included after it had been done by a new surveyor. He said that no changes have been made it just needed to be redrawn because of some mistakes that had been found after it had been completed.

**Commissioner Madrid-Boyea** asked what mistakes had been made. **Mr. Patterson** stated that some of the math on the measurements were incorrect to the point that each property would have to file an addendum.

0:59:17                      **ADJOURNED**

With no further business to discuss, Chairman McCormick declared the meeting adjourned at 5:58 PM.

\_\_\_\_\_  
James McCormick, Chairperson

\_\_\_\_\_  
Date

DRAFT



**CITY OF CARLSBAD  
AGENDA BRIEFING  
MEMORANDUM**

Council Meeting Date: April 6, 2026

<b>DEPARTMENT:</b> Planning & Zoning	<b>BY:</b> Miguel Martinez	<b>DATE:</b> 03/05/2026
<p><b>SUBJECT:</b> Consider approval of a Variance from Ord. 56-90(b) to allow a five-foot (5') rear setback instead of the required twenty-foot (20') rear setback for the property located at 3802 North Pat Garrett Road, zoned "R-1" Residential 1 District</p>		
<p><b>BACKGROUND, ANALYSIS AND IMPACT:</b> (Safety and Welfare/Financial/Personnel/Infrastructure/etc.) Request for Variance from Ord. 56-90(b) to allow a 5-foot (5') rear setback instead of the required twenty-foot (20') rear setback for the property located at 3802 North Pat Garrett Road, zoned "R-1" Residential 1 District, pursuant to Section 3-21-1 et. Seq. NMSA 1978 and Sections 56-150(b) and 56-140(i), Carlsbad Code of Ordinances.</p> <p>Applicant/Owner: Scot Richardson 3802 N Pat Garret Rd Carlsbad, NM 88220</p> <p><i>*The applicant provided the required notification to property owners within 100' and agreed to post the required sign 5-days prior to the public hearing as required by Sec. 56-140(i). The City will notify the property owners' 15-days prior to the City Council hearing and publish notification in the newspaper 30-days prior to said hearing.</i></p> <p>The applicant has submitted a request to allow a 10'x20' lofted barn to have a five-foot (5') rear yard setback instead of the required twenty-foot (20') rear yard setback, per the plat, not to encroach or expand beyond the property line. The walls are approximately eight-feet (8') tall and the pitch of the roof is approximately four-feet (4') tall.</p> <p>The Planning and Zoning Commission shall only approve a variance if it makes the following findings:</p> <ul style="list-style-type: none"> <li>(a) The stated hardship is one that is unique to the applicant rather than one suffered by the neighbors or the general public, and</li> <li>(b) The hardship relates to the applicant's land, rather than personal circumstances, and</li> <li>(c) The hardship is not the result of the applicant's own actions, and</li> <li>(d) The granting of the variance is consistent with the City's</li> </ul>		

- Comprehensive Plan or other City master plan, and
- (e) The granting of the variance is in harmony with the purpose and intent of the Zoning Ordinance, and
  - (f) The variance granted is the minimum necessary to make possible the reasonable use of the land or structure, and
  - (g) The granting of the variance will not be injurious to adjacent property or the neighborhood or detrimental to the public health, safety or general welfare, and
  - (h) The variance will neither result in the extension or expansion of a non-conforming structure or use in violation of Article VII nor authorize the initiation of a non-conforming use of land.

***The applicant did not meet all of the listed criteria.***

IMPACT (SAFETY AND WELFARE/FINANCIAL/PERSONNEL/INFRASTRUCTURE/ETC.):  
The minimum setbacks are for fire safety between structures.

The following *City of Carlsbad Comprehensive Plan 2040* objectives apply to this request:

**Chapter 4: Housing & Neighborhoods**

**Objectives:**

- *To preserve the character, identity, and integrity of established neighborhoods.*

**DEPARTMENT RECOMMENDATION:**

**PLANNING STAFF RECOMMENDATION:** Upon review of the application materials and City staff comments, the Planning Department recommends denial of this request.

Utilities Department:

Building Department: Recommend denial

Fire Department: Recommend denial

Legal Department: Recommend denial

Police Department: Recommend denial

Project Department: Recommend denial

Planning Department: Recommend denial

Code Enforcement: No Comments

**BOARD/COMMISSION/COMMITTEE ACTION:**

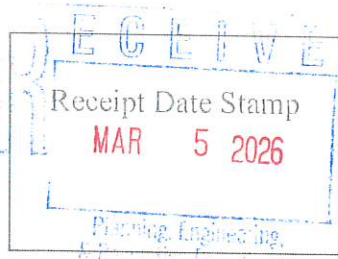
Planning & Zoning Commission -

**Reviewed by:**

City Manager:	Date:
---------------	-------

**Attachments:**

1. 3802 N Pat Garrett Rd - Application Items



# CITY OF CARLSBAD

Planning, Engineering,  
and Regulation Department  
PO Box 1569, Carlsbad, NM 88221  
Phone (575) 885-1185  
Fax (575) 628-8379

## BOARD OF APPEALS APPLICATION (VARIANCE FROM SUBDIVISION OR ZONING ORDINANCE) Sec. 47-7 or Sec. 56-150(c)

Application Date: 3/5/26

Fee Paid (\$50.00): 50.00

### APPLICANT INFORMATION:

Scott Richardson 3802 N. Pat Garrett Rd.  
 NAME ADDRESS

Carlsbad Nm 88220 620 482 0516 scottrichardson107@hotmail.com  
 CITY STATE ZIP PHONE EMAIL

### PROPERTY OWNER INFORMATION (IF DIFFERENT FROM APPLICANT):

NAME ADDRESS

CITY STATE ZIP PHONE EMAIL

LEGAL DESCRIPTION AND/OR STREET ADDRESS OF PROPERTY (FOR WHICH VARIANCE IS REQUESTED): 3802 N. Pat Garrett Rd. Oasis Subd. Lot 21, Block 4

### TYPE OF REQUEST (CHECK ONE):

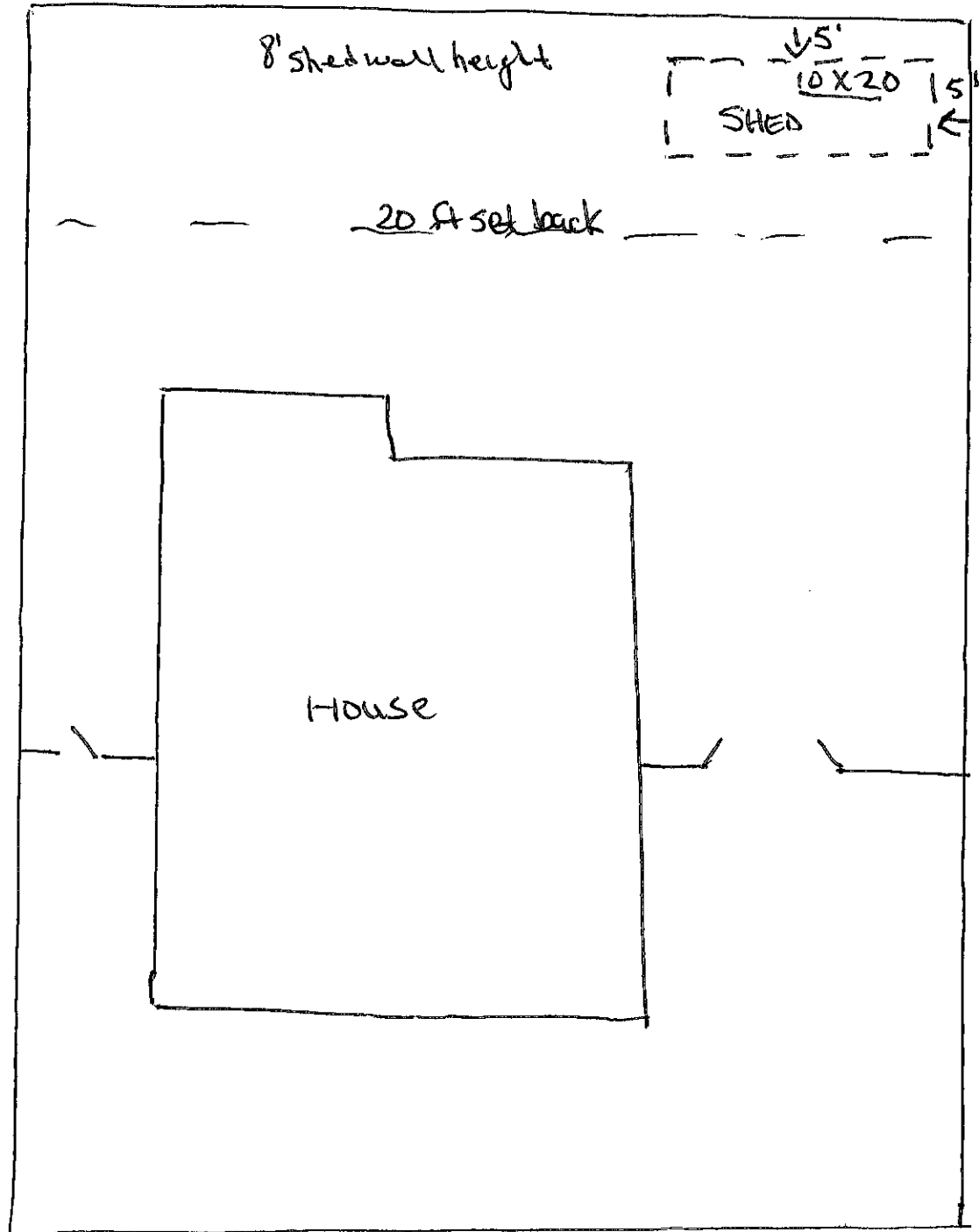
VARIANCE FROM THE SUBDIVISION REGULATIONS (CHAPTER 47 - CODE OF ORDINANCES) AS PROVIDED FOR IN SECTION 47-7, VARIANCES.

SPECIFY REGULATION AND/OR SUBSECTION: \_\_\_\_\_

VARIANCE FROM THE ZONING ORDINANCE (CHAPTER 56 - CODE OF ORDINANCES) AS PROVIDED FOR IN SECTION 56-150(c).

SPECIFY REGULATION AND/OR SUBSECTION: 56-90(b)

**JUSTIFICATION FOR REQUEST AND SITE PLAN:** (Describe the topographical uniqueness of the property or extreme practical difficulties or undue hardship that would result from the strict application of the requirement(s) contained in the ordinance section from which the variance is requested. Include a site plan drawn to scale or with accurate dimensions showing property lines, existing and proposed fences and/or walls, setbacks, building and structure locations and parking areas. Attach a separate sheet if necessary.)



**Zoning Ordinance**

**Criteria for Appeals - Sec. 56-150(c)(4):**

The purpose of the appeal procedure is to determine if the decision being appealed meets the requirements of this Zoning Ordinance. The City Council or the Planning and Zoning Commission, when hearing an appeal, is limited to the following determinations:

- (a) The decision-maker made an error in reviewing whether a standard was met, by a misreading of the facts, plans, regulations or an error in judgment.
- (b) Where conflicting evidence exists, the appeal is limited to determining what evidence or testimony bears the greatest credibility.
- (c) The decision-maker made the decision on standards not contained in this or other City ordinances, regulations or state law; or a standard was applied more strictly or broadly than is appropriate to implement the City's Comprehensive Plan and this Zoning Ordinance.

**Subdivision Regulations**

**Criteria for Appeals – Sec. 47-7**

Whenever, in the opinion of the board of appeals, the strict application of the requirements contained in this chapter would result in extreme practical difficulties or undue misuse of property, the board may modify such requirements as are necessary so that the subdivider is allowed to develop his/her property in a reasonable manner providing that the public interests of the community and its citizens are protected and the general intent and spirit of these regulations are preserved. **The board shall grant such a variance or modification only upon determination that:**

1. **The variance will not be detrimental to the public health, safety and general welfare of the community;**
2. **The variance will not adversely affect the reasonable development of adjacent property;**
3. **The variance is justified because of topographic or other special conditions unique to the property involved in contradistinction to mere inconvenience or financial disadvantage;**
4. **The variance is consistent with the objectives of this chapter and will not have the effect of nullifying the intent or purpose of this chapter or the comprehensive plan;**
5. **The variance has been shown to be in the best interest of the general public and not only of interest to the developer, land owner or other interested party;**
- 6 **The hardship must not be pecuniary and must be a direct result of the land location, topography or other characteristic;**
- 7 **Where a variance is requested from the required provision of sidewalks, and ADA compliant, alternative route to the nearest bus stop or school is required. If an alternative route cannot be provided, a variance shall not be approved.**

<b>FOR OFFICIAL USE ONLY</b>			
<b>Required prior to P &amp; Z:</b>			
Complete Application Including:	<input type="checkbox"/> Site Plan	<input type="checkbox"/> Fee	<input type="checkbox"/> Notification
	<input type="checkbox"/> Sign Posting Agreement		<input type="checkbox"/> Letter of Explanation
	<input type="checkbox"/> ABM	<input type="checkbox"/> Staff Comments	<input type="checkbox"/> Sign Posted
			<input type="checkbox"/> Application Packet
P & Z Action:	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied	<input type="checkbox"/> Other
			Date: _____

## NOTIFICATION SIGN POSTING AGREEMENT

Notification of Public Hearings before the City of Carlsbad Planning and Zoning Commission is required pursuant to Sec. 56-140(i).

- Signs shall be posted a minimum of 5 days prior to and shall be removed a maximum of 5 days after the public hearing.
- If the sign is not posted as required, the application will be delayed and will not be considered at the public hearing as scheduled.
- The sign shall be posted at the street side property line with a secure stake provided by the applicant.

I have read and understand these requirements. I understand where the sign is to be located and my obligation to post the sign prior to the public hearing and remove it afterwards.

  
\_\_\_\_\_  
APPLICANT SIGNATURE

3/5/26  
\_\_\_\_\_  
DATE

Sign issued by: \_\_\_\_\_  
Staff Member

Date: \_\_\_\_\_

Dear Property Owner,

This letter serves as legal notification of a pending action before the City of Carlsbad Planning and Zoning Commission in accordance with Code of Ordinances Sec. 56-140(i). You are being notified because you are a property owner within one-hundred feet (100') of the subject site.

Applicant: Scot Richardson 3802 N. Pat Garrett Rd 620 482 0516  
Name Address Phone

Subject Site Location: 3802 N. Pat Garrett Rd. Carlsbad, NM

The proposed action is a:

Zoning Change from \_\_\_\_\_ to \_\_\_\_\_ in accordance with Sec. 56-150(b).

Variance/Appeal from Sec. 56-90(b) in accordance with Sec. 56-150(c).

The purpose of the variance/appeal is:

To place an accessory structure within the side & rear property setback

Conditional Use Permit in accordance with Sec. 56-150(f). The purpose of the permit is for a:

Home Occupation: \_\_\_\_\_

Other Use: \_\_\_\_\_

The Planning and Zoning Commission will consider this request at a Public Hearing on:

Date: 4/6/2026

Time: 5:00pm

Place: City Annex Planning Room

114 S. Halagueno St.

Carlsbad, NM 88220

The Code of Ordinances can be found on the City's website [www.cityofcarlsbadnm.com](http://www.cityofcarlsbadnm.com).

For details about this request contact the applicant OR contact the City Planner at

575-885-1185 or via email at [jepatterson@cityofcarlsbadnm.com](mailto:jepatterson@cityofcarlsbadnm.com).

Sincerely,



Applicant/Agent

# EagleViewImage

Captured: Jan 17, 2026



9589 0710 5270 3761 8604 39

**U.S. Postal Service™  
CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)  
Carlsbad, NM 88220

**OFFICIAL USE**

Certified Mail Fee	\$5.30
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.78
<b>Total Postage and Fees</b>	<b>\$6.08</b>

Sent To: Golden Health Inc, 6524  
Street and Apt. No., or PO Box No.  
2135 S. Canal St  
City, State, ZIP+4®  
Carlsbad, NM 88220

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions



9589 0710 5270 3761 8604 77

**U.S. Postal Service™  
CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

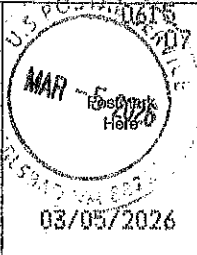
For delivery information, visit our website at [www.usps.com](http://www.usps.com)  
Las Cruces, NM 88001

**OFFICIAL USE**

Certified Mail Fee	\$5.30
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.78
<b>Total Postage and Fees</b>	<b>\$6.08</b>

Sent To: Ken Thurston Dev Group  
Street and Apt. No., or PO Box No.  
1880 E. Lohman Ave  
City, State, ZIP+4®  
Las Cruces, NM 88001

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions



9589 0710 5270 3761 8604 46

**U.S. Postal Service™  
CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)  
Carlsbad, NM 88220

**OFFICIAL USE**

Certified Mail Fee	\$5.30
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.78
<b>Total Postage and Fees</b>	<b>\$6.08</b>

Sent To: Charles Bossadivito  
Street and Apt. No., or PO Box No.  
3803 N. Pat Garrett Rd  
City, State, ZIP+4®  
Carlsbad, NM 88220

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions



9589 0710 5270 3761 8604 60

**U.S. Postal Service™  
CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

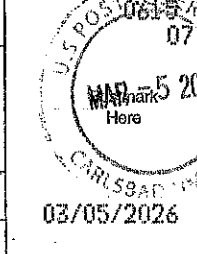
For delivery information, visit our website at [www.usps.com](http://www.usps.com)  
Carlsbad, NM 88220

**OFFICIAL USE**

Certified Mail Fee	\$5.30
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.78
<b>Total Postage and Fees</b>	<b>\$6.08</b>

Sent To: Joshua Hernandez  
Street and Apt. No., or PO Box No.  
3804 N. Pat Garrett Rd  
City, State, ZIP+4®  
Carlsbad, NM 88220

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions



9589 0710 5270 3761 8604 22

**U.S. Postal Service™  
CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

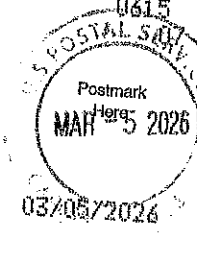
For delivery information, visit our website at [www.usps.com](http://www.usps.com)  
Carlsbad, NM 88220

**OFFICIAL USE**

Certified Mail Fee	\$5.30
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.78
<b>Total Postage and Fees</b>	<b>\$6.08</b>

Sent To: Karima Mourhat  
Street and Apt. No., or PO Box No.  
3730 N. Pat Garrett Rd  
City, State, ZIP+4®  
Carlsbad, NM 88220

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions



9589 0710 5270 3761 8604 53

**U.S. Postal Service™  
CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)  
Carlsbad, NM 88220

**OFFICIAL USE**

Certified Mail Fee	\$5.30
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.78
<b>Total Postage and Fees</b>	<b>\$6.08</b>

Sent To: Jamie Ortega Muñoz  
Street and Apt. No., or PO Box No.  
3806 N. Pat Garrett Rd  
City, State, ZIP+4®  
Carlsbad, NM 88220

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions



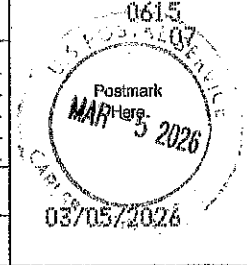
9589 0710 5270 3761 8604 08

U.S. Postal Service  
**CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

Carlsbad, NM 88220

Certified Mail Fee	\$5.30
Postage	\$0.78
<b>Total Postage and Fees</b>	<b>\$6.08</b>



Sent To Eddy + Erica Alvarez  
 Street and Apt. No., or PO Box No. 3800 N Pat Garrett Rd  
 City, State, ZIP+4® Carlsbad NM 88220

PS Form 3800, January 2023 PSN 7530-02-000-8047 See Reverse for Instructions

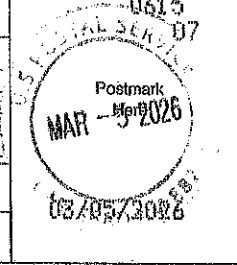
9589 0710 5270 3761 8604 08

U.S. Postal Service  
**CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

Carlsbad, NM 88220

Certified Mail Fee	\$5.30
Postage	\$0.78
<b>Total Postage and Fees</b>	<b>\$6.08</b>



Sent To Kyle + Julia McInroy  
 Street and Apt. No., or PO Box No. 3730 N Pat Garrett Rd  
 City, State, ZIP+4® Carlsbad NM 88220

PS Form 3800, January 2023 PSN 7530-02-000-8047 See Reverse for Instructions

OLD HICKORY SHEDS, LLC  
 P.O. BOX 331973  
 MURFREESBORO, TN 37133

- GENERAL NOTES:**
1. STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE AND THE 2021 INTERNATIONAL BUILDING CODE.
  2. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ABOVE CODES AT THE TIME OF MANUFACTURE.
  3. DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
  4. STRUCTURES ARE CLASSIFIED AS "MINOR STORAGE FACILITIES" (RISK CATEGORY I) PER IBC TABLE 1604.5 AND SHOULD NOT BE USED FOR HUMAN HABITATION.
  5. SIDING FASTENERS SHALL NOT BE INSTALLED IN PANEL SIDING GROOVES IN THE FIELD OF THE PANEL, OR WHEN THE SIDING GROOVES OCCUR AT CUT EDGES OF THE SIDING PANEL.
  6. STRUCTURES SHOULD HAVE 25 YEAR RATED FIBERGLASS/ ASPHALT SHINGLES OR 29 GA METAL ROOFING OVER WOOD SHEATHING.
  7. WOOD FRAMING SHALL COMPLY WITH THE ANSII/AWC "NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION", 2016.
  8. ALL ROOF DECKING IS TO BE 7/8" OSB.
  9. ALL EXTERIOR NAILS ARE TO BE ZINC COATED.

10. ALL SIDING IS TO BE 5/8" TREATED T1-11 PLYWOOD OR 3/4" LP SMART PANEL.
11. ALL FLOOR JOISTS ARE TO BE PRESSURE TREATED SYP #2, OR BETTER.
12. ALL UN-TREATED WOOD FRAMING IS TO BE SPF #2 OR BETTER.
13. ALL FLOOR DECKING IS TO BE 5/8" OR 3/4" PLYWOOD OR ENGINEERED FLOORING.
14. ALL SKIDS ARE TO BE 4x6 PRESSURE TREATED, RATED FOR GROUND CONTACT.
15. SECTIONS AND DETAILS SHOWN ARE INTENDED TO BE TYPICAL AND SHALL APPLY AT ALL SIMILAR LOCATIONS, UNLESS NOTED OTHERWISE.
16. BUILDINGS WITH A LENGTH TO WIDTH RATIO GREATER THAN 3 TO 1 SHALL REQUIRE SOLID WOOD BLOCKING BETWEEN THE ROOF RAFTERS AT ALL ROOF SHEATHING JOINTS, ATTACH THE ROOF SHEATHING TO THE BLOCKING WITH A MAXIMUM NAIL SPACING OF 6 INCHES ON CENTER.

- DESIGN CRITERIA:**
1. RISK CATEGORY: I
  2. FLOOR LIVE LOAD: 40 PSF
  3. SNOW LOADS ARE BASED ON THE FOLLOWING:  
 GROUND SNOW LOAD,  $P_g = 60$  PSF  
 FLAT ROOF SNOW LOAD,  $P_f = 40$  PSF  
 EXPOSURE FACTOR,  $C_e = 1.0$   
 IMPORTANCE FACTOR,  $I = 0.8$   
 THERMAL FACTOR,  $C_t = 1.2$
  4. WIND LOADS ARE BASED ON THE FOLLOWING:  
 $V_{dir} = 115$  MPH  
 RISK CATEGORY: I  
 EXPOSURE CATEGORY: B  
 INTERNAL PRESSURE COEFFICIENT:  
 $GCF = 0.0, 1.8$   
 COMPONENTS & CLADDING:  
 ROOF-ZONE 1 = 10.0, -13.1 PSF  
 ROOF-ZONE 2 = 10.0, -22.7 PSF  
 ROOF-ZONE 3 = 10.0, -35.6 PSF  
 WALL-ZONE 1 = 14.3, -15.5 PSF  
 WALL-ZONE 2 = 14.3, -19.1 PSF

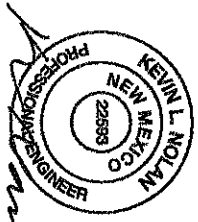
- PIERS (IF REQUIRED):**
1. PIERS ARE NOT REQUIRED WHEN THE SKIDS CAN BE SUPPORTED ON FIRM, LEVEL GROUND. PIERS ALONG INTERIOR SKIDS SHALL BE ORIENTED WITH THE LONG SIDE PERPENDICULAR TO THE SKID. PIERS ALONG THE OUTSIDE SKIDS OF BUILDINGS WITH 4 SKIDS ARE PERMITTED TO BE ORIENTED WITH THE LONG SIDE PARALLEL TO THE SKID PROVIDED THAT THE PIERS ALONG THE INTERIOR SKID ARE ORIENTED PERPENDICULAR TO THE SKID.
  2. PIERS SHALL TYPICALLY BE 8"x8"x16" OPEN CELL OR SOLID CONCRETE BLOCKS, DRY STACKED TO A MAXIMUM HEIGHT OF 36". THE BLOCK IN CONTACT WITH THE GROUND AT EACH PIER SHALL BE A 4"x8"x16" SOLID BLOCK. OPEN CELL BLOCKS AND 2" THICK SOLID BLOCKS ARE NOT TO BE USED AS THE BASE OF ANY PIERS. OPEN CELL BLOCKS ARE TO BE PLACED ON TOP OF SOLID BLOCKS AS NEEDED WITH THE OPEN CELLS RUNNING VERTICALLY AND MUST NOT BE PLACED ON THEIR SIDE.
  3. OLD HICKORY SHEDS IS NOT RESPONSIBLE FOR THE PREPARATION OF THE PROPOSED SITE OR DETERMINATION OF THE SITE'S SUITABILITY TO SUPPORT THE PROPOSED STRUCTURE. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO DETERMINE IF SITE CONDITIONS ARE SUITABLE TO SUPPORT THE STRUCTURE.
  4. PIERS SHOWN ON SHEET S-1 ARE CONCEPTUAL AND MAY NOT REFLECT ACTUAL CONDITIONS. THE PIER LAYOUT MAY BE ADJUSTED AS NEEDED BASED ON SITE CONDITIONS, PROVIDED THAT THE MAXIMUM SPACING SHOWN IS NOT EXCEEDED.

**ITEMS BY OTHERS:**  
 THE FOLLOWING ITEMS ARE TO BE SUPPLIED AND INSTALLED BY OTHERS. THESE ITEMS MAY BE SUBJECT TO LOCAL JURISDICTION APPROVAL. OLD HICKORY SHEDS IS NOT RESPONSIBLE FOR THESE ITEMS.

1. THE COMPLETE FOUNDATION AND TIE-DOWN SYSTEM
2. RAMPS, STAIRS, AND GENERAL ACCESS
3. ELECTRICAL SERVICE HOOKUP

5. SEISMIC LOADS ARE BASED ON THE FOLLOWING:  
 RISK CATEGORY: I  
 SITE CLASS: D  
 DESIGN CATEGORY: D

**NOTE:** C&C WIND PRESSURES SHOWN ARE FOR A 10 SQUARE FOOT EFFECTIVE AREA (Ae) AND MAY BE REDUCED FOR LARGER AREAS AS ALLOWED BY CODE.



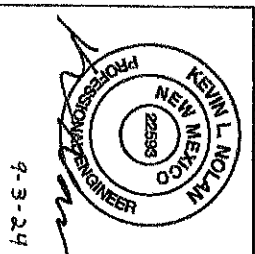
9-3-24

# LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021

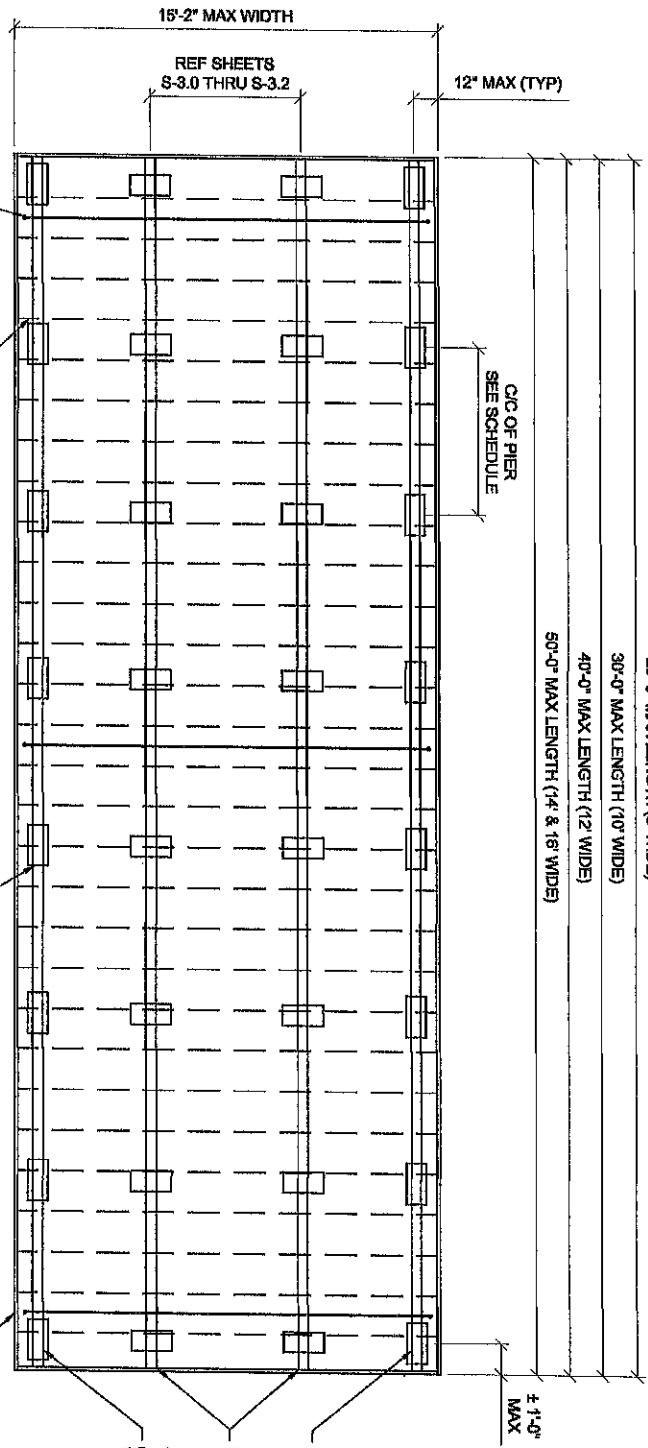


PROJECT NO:	
DATE:	09-03-2024
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

SHEET NUMBER  
**S-0**  
 SCALE: NONE



BUILDING TIE-DOWN TO BE INSTALLED BY THE CUSTOMER. REFER TO NOTES ON S-0. THE QUANTITY OF TIE-DOWNS SHOWN ON THIS PLAN ARE CONCEPTUAL AND MAY NOT REFLECT THE ACTUAL REQUIRED QUANTITY. SEE THE SCHEDULE ON SHEET S-2 FOR THE REQUIRED TIE-DOWN QUANTITY AND LOAD RATING BASED ON THE BUILDING LENGTH (TYP)



TYPICAL FLOOR FRAMING PLAN

PIER SPACING SCHEDULE	
BLDG WIDTH	MAX SPACING
UP TO 14'-0"	8'-0"
18'-0"	9'-0"

# LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021

**OLD HICKORY**  
SHEDS

PROJECT NO: \_\_\_\_\_

DATE: 09-03-2024

DRAWN BY: KLN

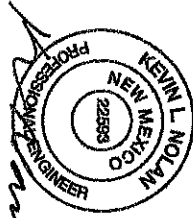
CHECKED BY: KLN

REVISION: \_\_\_\_\_

SHEET NUMBER

## S-10

SCALE: NOT TO SCALE



9-3-24

# LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021

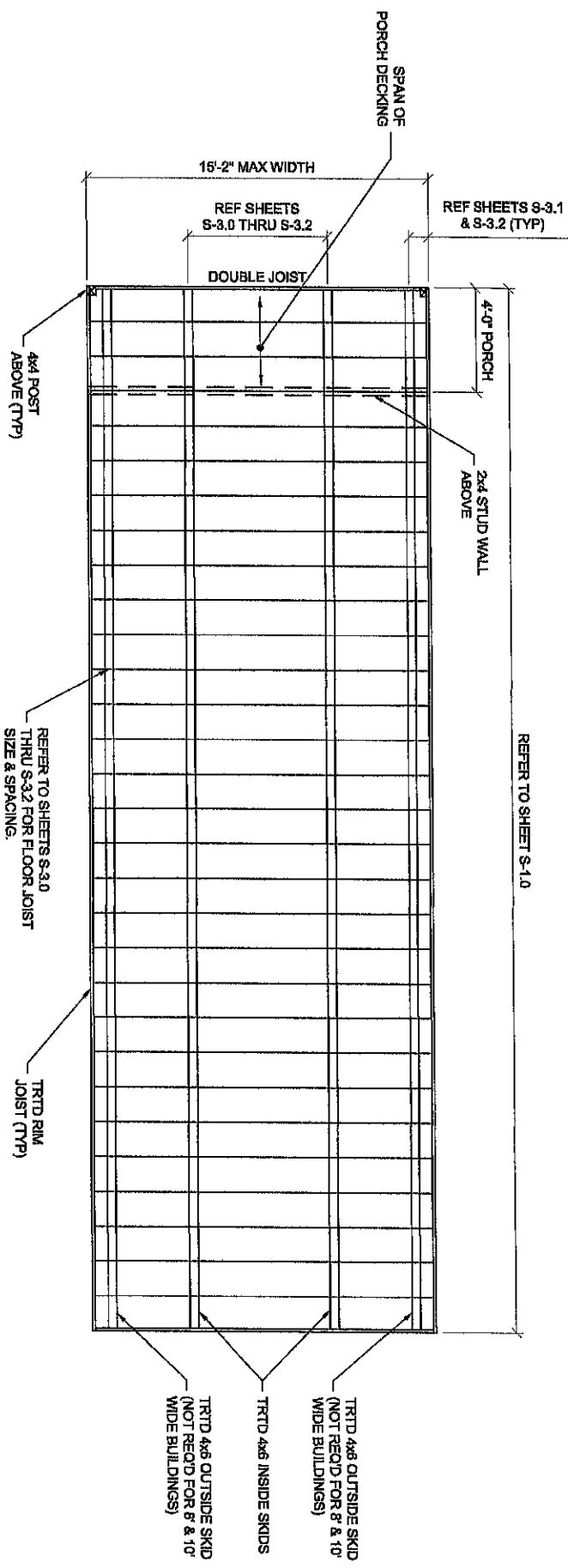


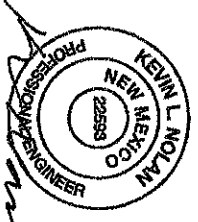
PROJECT NO:  
DATE: 09-03-2024  
DRAWN BY: KLN  
CHECKED BY: KLN  
REVISION:

SHEET NUMBER  
**S-11**  
SCALE: NOT TO SCALE

NOTE: REFER TO SHEET S-10 FOR INFORMATION NOT SHOWN

## PLAYHOUSE OPTION FLOOR FRAMING PLAN





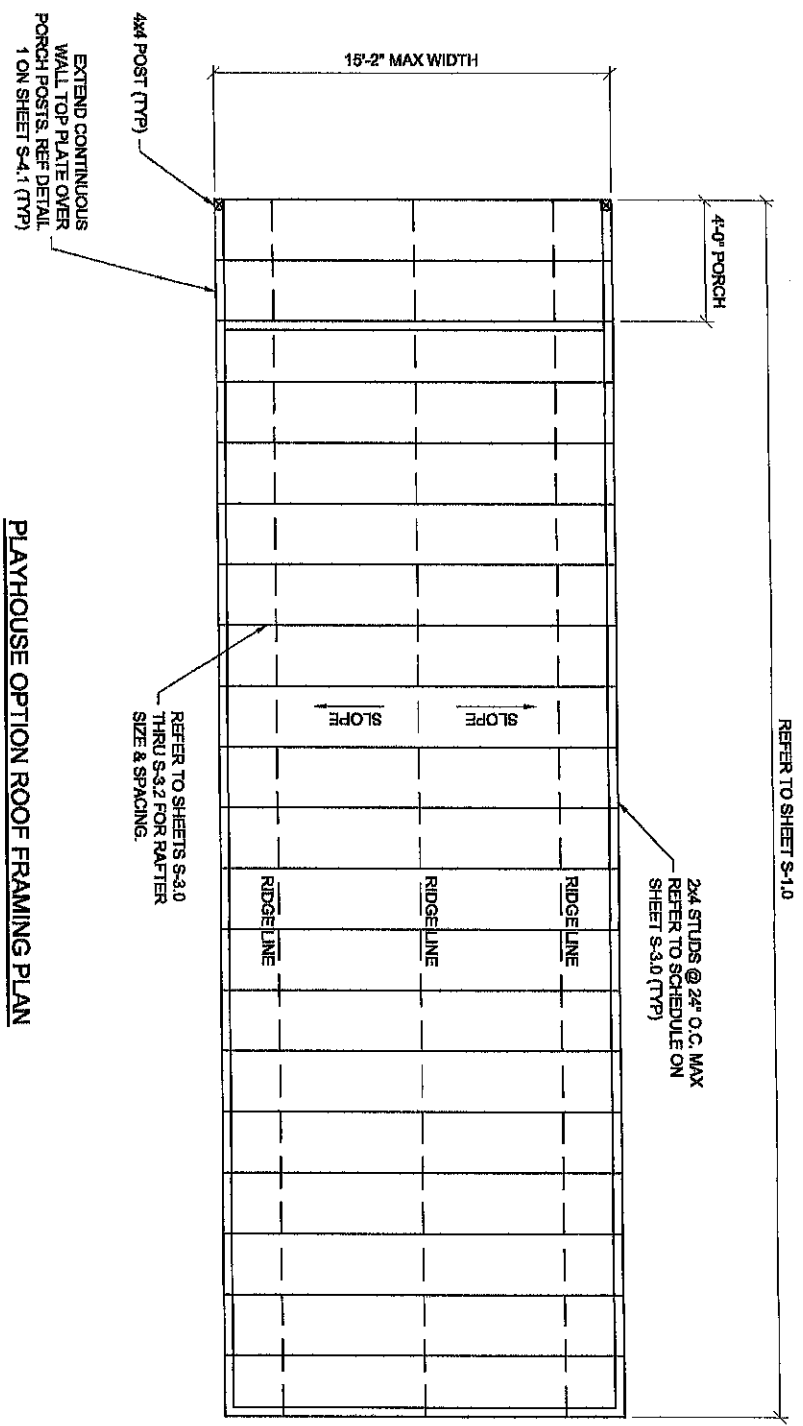
9-3-24

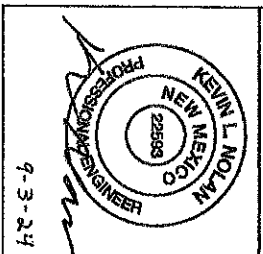
# LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021



PROJECT NO:  
DATE: 09-03-2024  
DRAWN BY: KLN  
CHECKED BY: KLN  
REVISION:

SHEET NUMBER  
**S-12**  
SCALE: NOT TO SCALE





# LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021

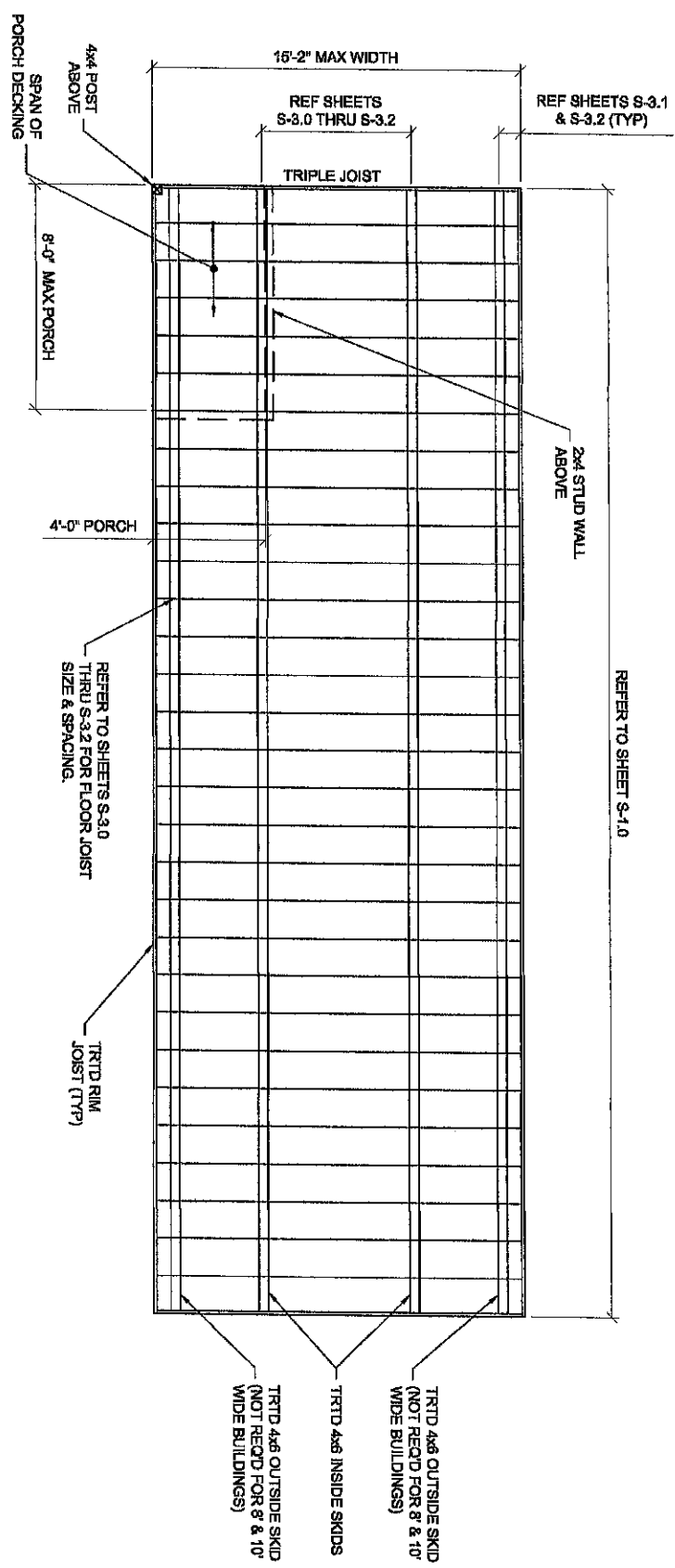


PROJECT NO:	
DATE:	09-03-2024
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

SHEET NUMBER  
**S-13**  
SCALE: NOT TO SCALE

NOTE: REFER TO SHEET S-1.0 FOR INFORMATION NOT SHOWN

## SIDE PORCH OPTION FLOOR FRAMING PLAN





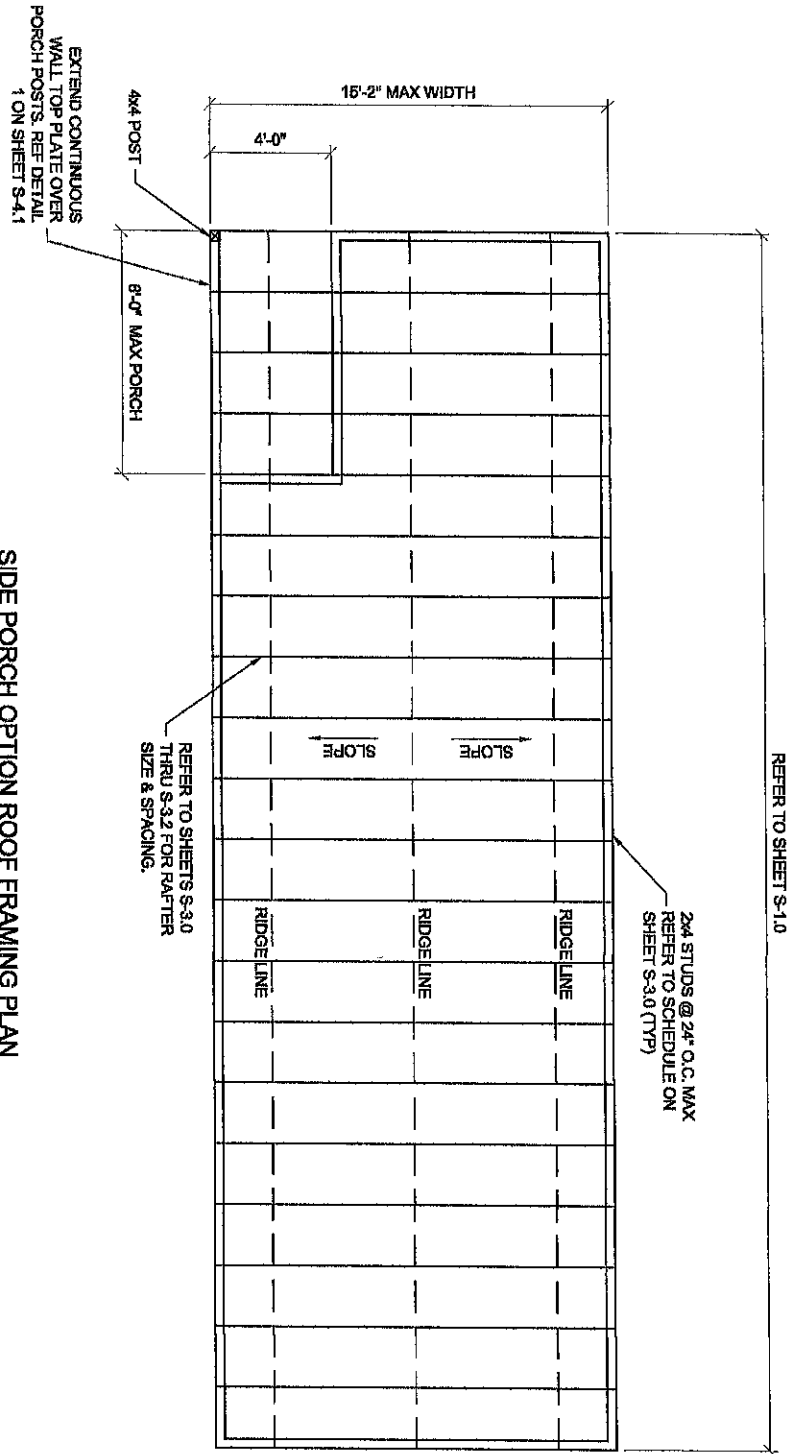
4-3-24

# LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021

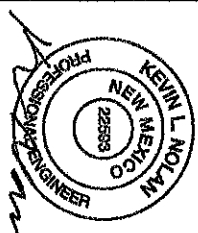


PROJECT NO:  
DATE: 09-03-2024  
DRAWN BY: KLN  
CHECKED BY: KLN  
REVISION:

SHEET NUMBER  
**S-14**  
SCALE: NOT TO SCALE



SIDE PORCH OPTION ROOF FRAMING PLAN



9-3-24

# LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021

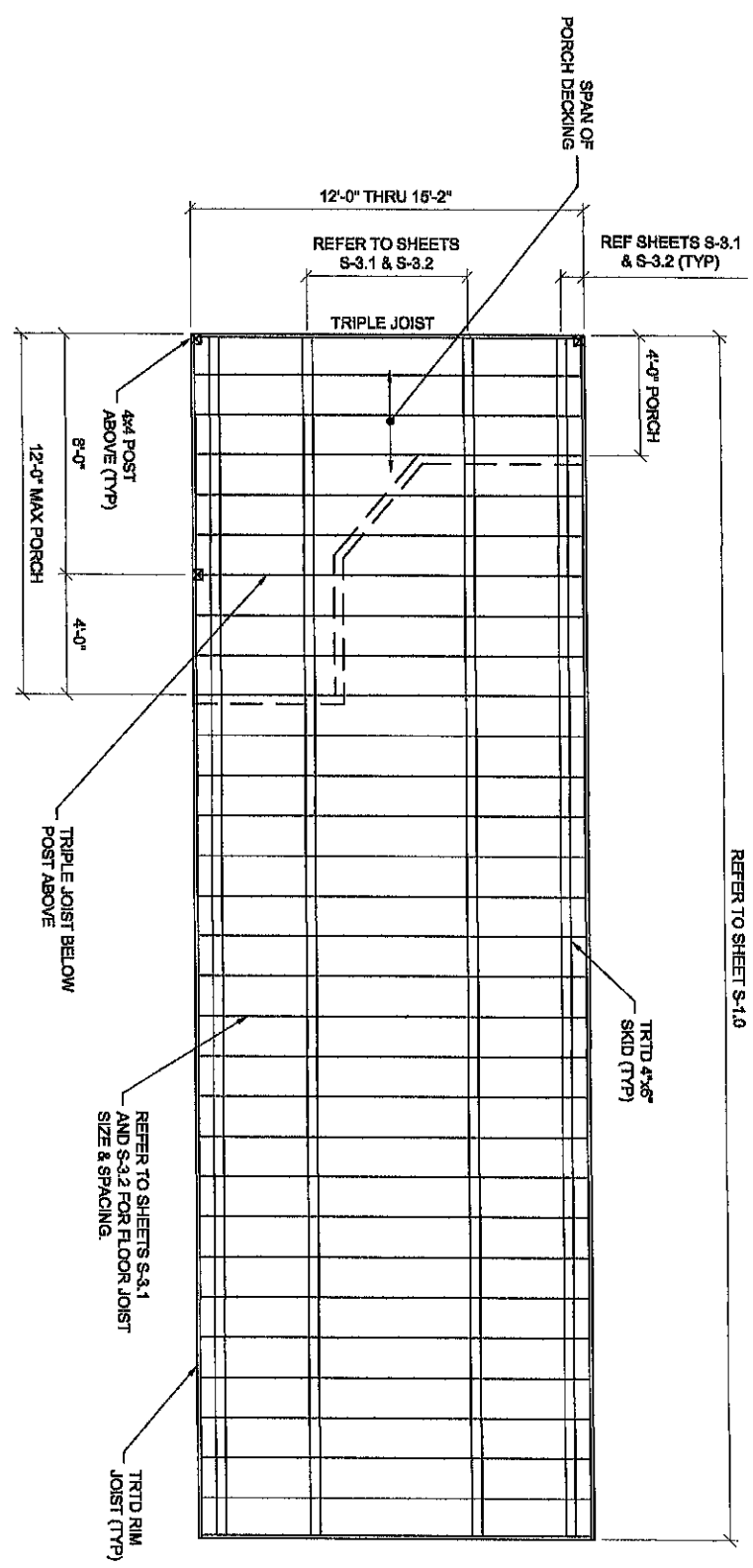


PROJECT NO:	
DATE:	09-03-2024
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

SHEET NUMBER  
**S-15**  
SCALE: NOT TO SCALE

NOTE: REFER TO SHEET S-1.0 FOR INFORMATION NOT SHOWN

## DELUXE PLAYHOUSE OPTION FLOOR FRAMING PLAN



REFER TO SHEET S-1.0



9-3-24

# LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021

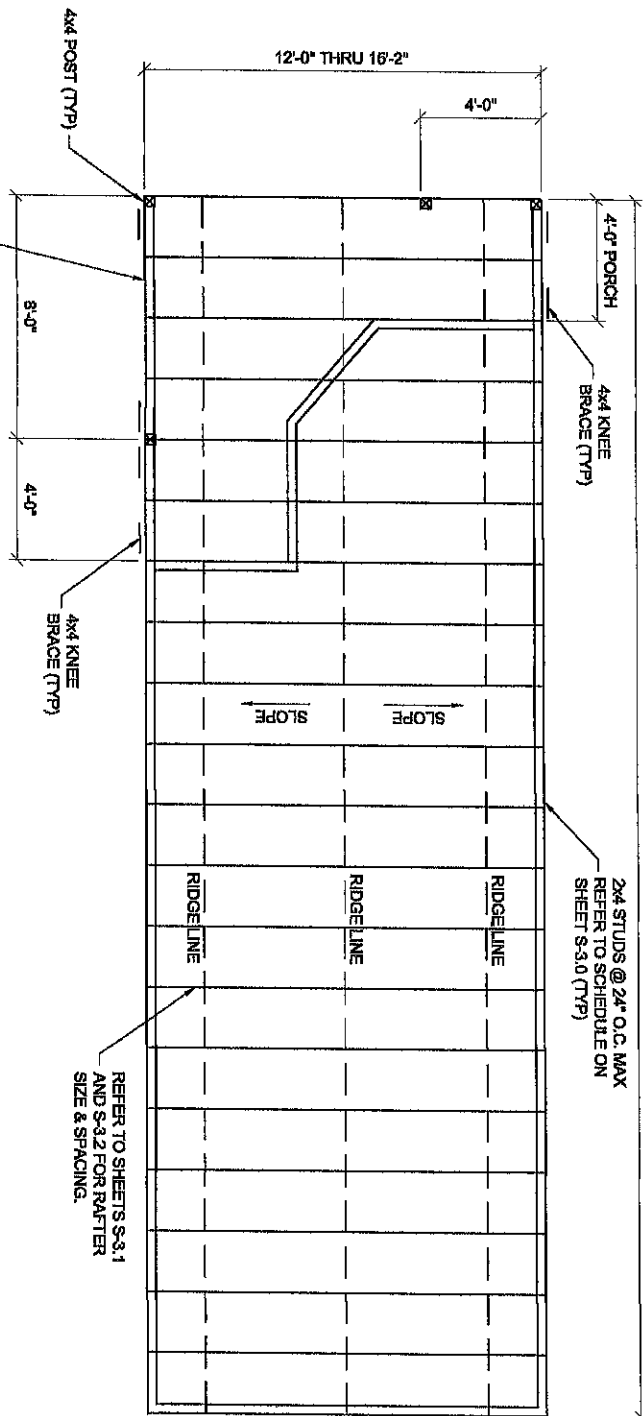


PROJECT NO:  
DATE: 09-03-2024  
DRAWN BY: KLN  
CHECKED BY: KLN  
REVISION:

SHEET NUMBER  
**S-16**  
SCALE: NOT TO SCALE

EXTEND CONTINUOUS WALL TOP PLATE OVER PORCH POSTS. REF DETAIL 1 ON SHEET S-4.1 (TYP)

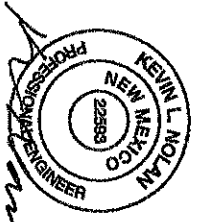
## DELUXE PLAYHOUSE OPTION ROOF FRAMING PLAN



REFER TO SHEET S-4.10

2x4 STUDS @ 24\"/>

REFER TO SHEETS S-3.1 AND S-3.2 FOR RAFTER SIZE & SPACING.



9-3-24

# LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021

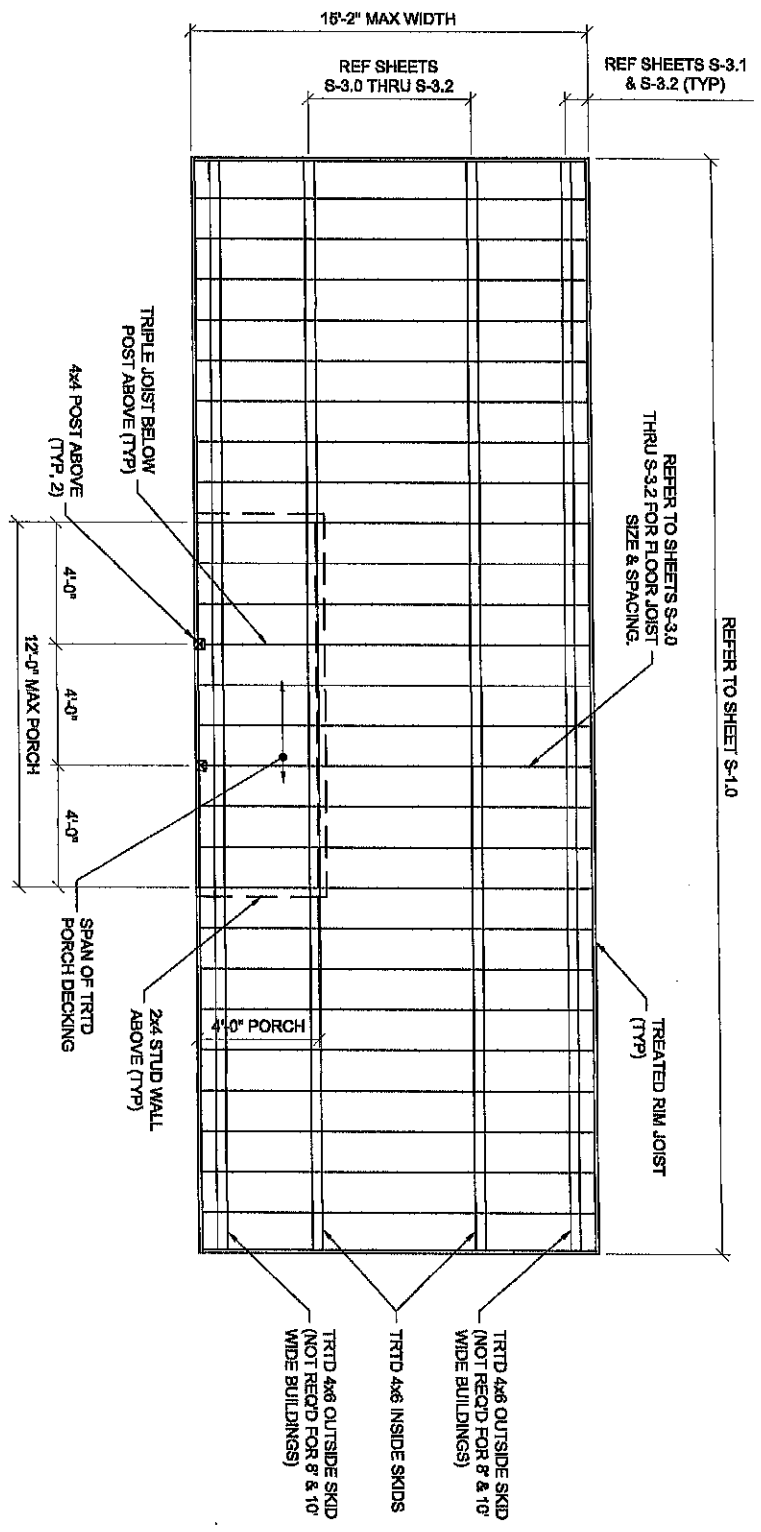


PROJECT NO.	
DATE	09-03-2024
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

SHEET NUMBER  
**S-17**  
SCALE: NOT TO SCALE

NOTE: REFER TO SHEET S-1.0 FOR INFORMATION NOT SHOWN

## CENTER PORCH OPTION FLOOR FRAMING PLAN





9-3-24

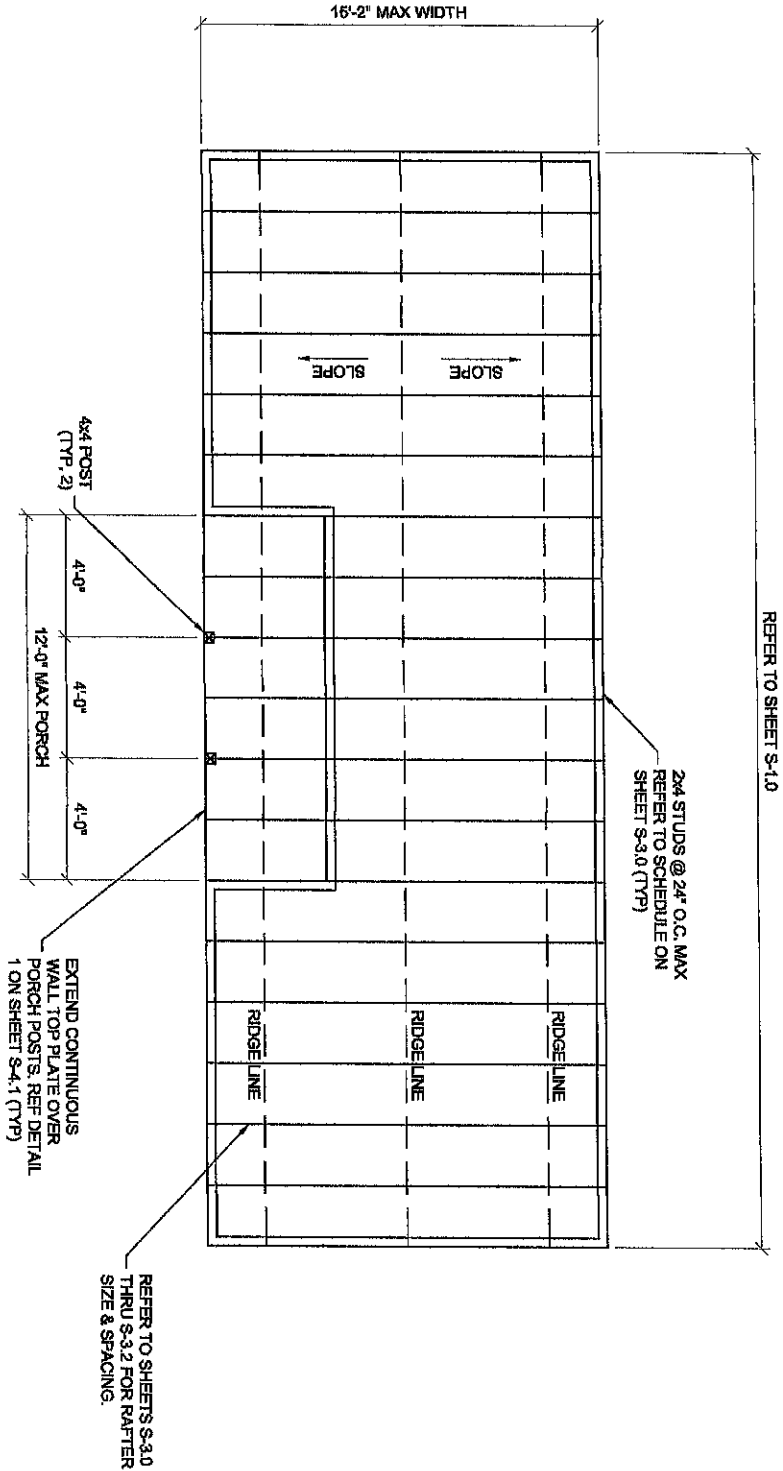
# LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021



PROJECT NO:  
DATE: 09-03-2024  
DRAWN BY: KLN  
CHECKED BY: KLN  
REVISION:

SHEET NUMBER  
**S-18**  
SCALE: NOT TO SCALE

## CENTER PORCH OPTION ROOF FRAMING PLAN



**UPLIFT ANCHORAGE SCHEDULE**

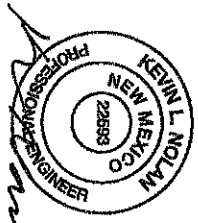
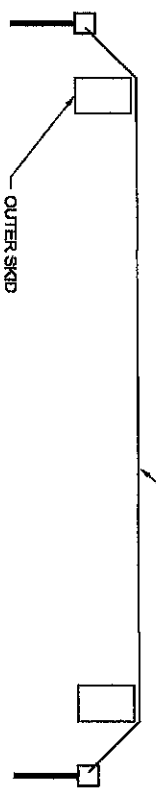
BLDG LENGTH	8' WIDE BLDGS		10' WIDE BLDGS		12' WIDE BLDGS		14' WIDE BLDGS		16' WIDE BLDGS	
	NUMBER OF TIE-DOWNS	REQD ANCHOR CAPACITY	NUMBER OF TIE-DOWNS	REQD ANCHOR CAPACITY	NUMBER OF TIE-DOWNS	REQD ANCHOR CAPACITY	NUMBER OF TIE-DOWNS	REQD ANCHOR CAPACITY	NUMBER OF TIE-DOWNS	REQD ANCHOR CAPACITY
8'-0"	2	350#	-	-	-	-	-	-	-	-
10'-0"	2	450#	-	-	-	-	-	-	-	-
12'-0"	2	550#	2	450#	2	400#	2	350#	2	400#
14'-0"	2	600#	2	550#	2	450#	2	400#	2	450#
16'-0"	3	550#	3	550#	2	500#	2	450#	2	500#
18'-0"	3	600#	3	600#	2	550#	2	500#	2	550#
20'-0"	3	600#	3	600#	2	600#	2	550#	2	600#
22'-0"	-	-	3	650#	2	650#	2	600#	2	650#
24'-0"	-	-	4	700#	2	700#	2	650#	2	700#
26'-0"	-	-	4	700#	3	700#	2	700#	2	700#
28'-0"	-	-	4	700#	3	700#	3	700#	3	700#
30'-0"	-	-	4	700#	3	700#	3	700#	3	700#
32'-0"	-	-	-	-	3	750#	3	750#	3	750#
34'-0"	-	-	-	-	3	800#	3	800#	3	800#
36'-0"	-	-	-	-	3	800#	3	800#	3	800#
38'-0"	-	-	-	-	3	850#	3	850#	3	850#
40'-0"	-	-	-	-	4	850#	3	850#	3	850#
42'-0"	-	-	-	-	-	-	3	850#	3	850#
44'-0"	-	-	-	-	-	-	4	850#	4	850#
46'-0"	-	-	-	-	-	-	4	850#	4	850#
48'-0"	-	-	-	-	-	-	4	850#	4	850#
50'-0"	-	-	-	-	-	-	4	850#	4	850#

NOTES:  
 1) TIE-DOWNS AND ANCHORS ARE TO BE SUPPLIED AND INSTALLED BY THE CUSTOMER. OLD HICKORY SHEDS IS NOT RESPONSIBLE FOR THE TIE-DOWN SYSTEM. REFER TO NOTE SHEET S-0.

2) THE SCHEDULE INDICATES THE RECOMMENDED NUMBER OF BUILDING TIE-DOWNS TO BE INSTALLED BY THE CUSTOMER. EACH TIE-DOWN SYSTEM SHALL HAVE AN ANCHOR AT EACH END. EACH TIE-DOWN COMPONENT IS TO BE RATED FOR AT LEAST THE CAPACITY SHOWN IN THE SCHEDULE.

3) AT A MINIMUM, PROVIDE A TIE-DOWN NEAR EACH END OF THE BUILDING. REMAINING TIE-DOWNS (IF REQUIRED) SHOULD BE EVENLY SPACED ALONG THE ENTIRE LENGTH OF BUILDING.

BUILDING TIE-DOWN W/ (2) ANCHORS TO BE INSTALLED BY CUSTOMER. (NOT PROVIDED BY OHS)



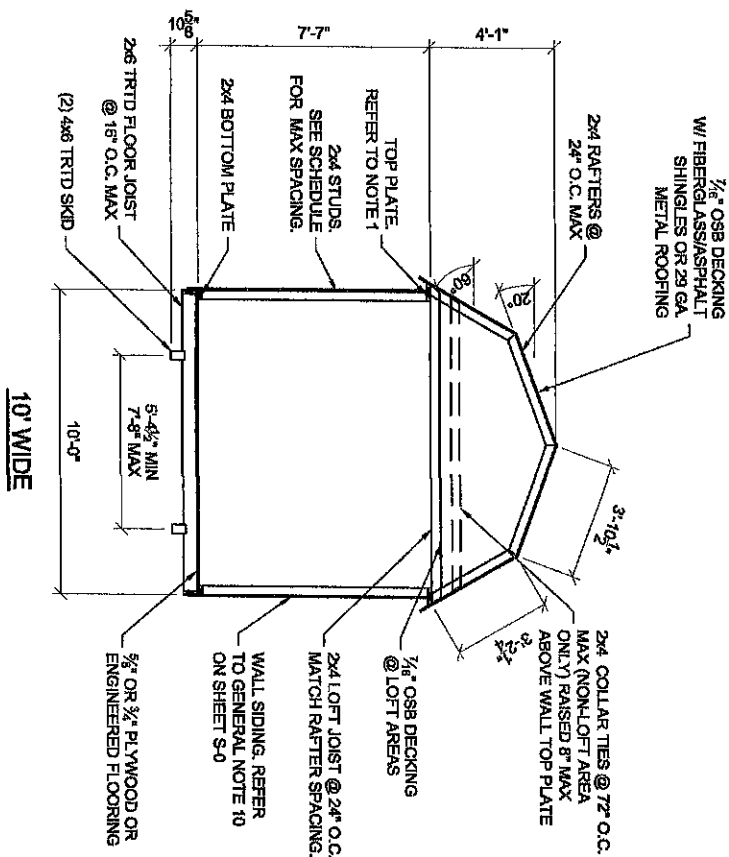
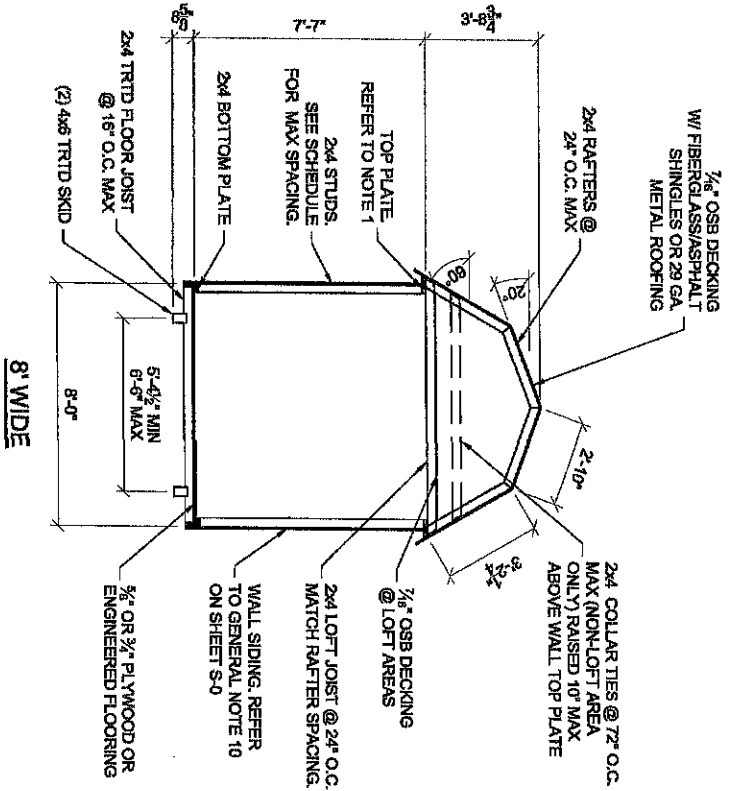
4-3-24

**LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021**



PROJECT NO: \_\_\_\_\_  
 DATE: 09-03-2024  
 DRAWN BY: KLN  
 CHECKED BY: KLN  
 REVISION: \_\_\_\_\_

SHEET NUMBER  
**9-2**  
 SCALE: NONE



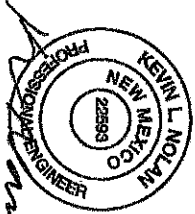
WALL STUD SPACING SCHEDULE (REFER TO NOTE 1)

WALL SIDING	STUD SPACING
3/4" T-1-11 PLYWOOD	24" MAX
3/4" LP SMART PANEL	16" MAX

NOTES: 1. PROVIDE A DOUBLE TOP PLATE ALONG THE SIDE WALLS WHEN THE RAFTER SPACING DOES NOT MATCH THE WALL STUD SPACING.  
 2. ACTUAL SKID SPACING MAY VARY PROVIDED THAT THE CENTER TO CENTER SPACING IS WITHIN THE MAXIMUM SPACING STATED.  
 3. 2x6 FRAMING MAY BE SUBSTITUTED FOR THE 2x4 FRAMING SHOWN. THE SPACING OF THE 2x6 FRAMING SHALL BE AS SHOWN FOR THE 2x4.

**BUILDING SECTIONS**

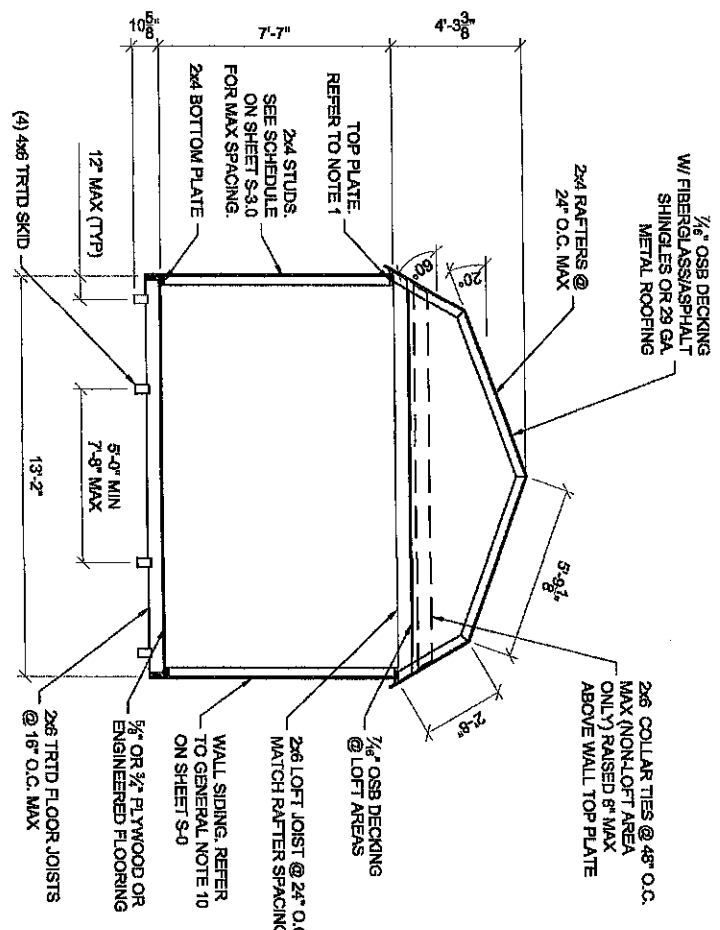
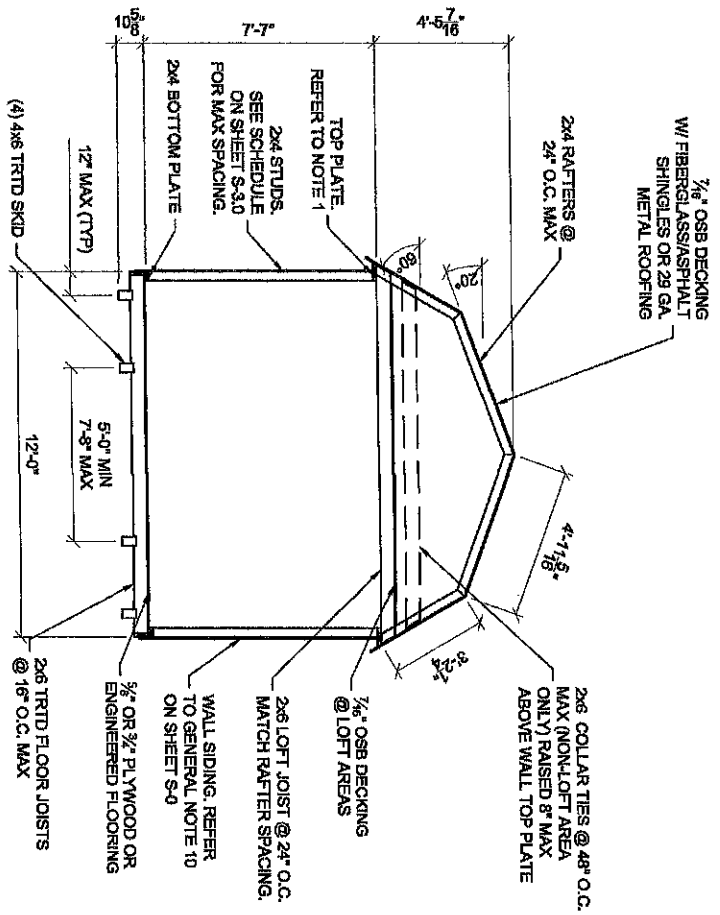
**LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021**



9-3-24



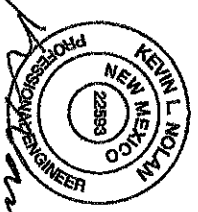
PROJECT NO:	SHEET NUMBER
DATE: 09-03-2024	<b>S-30</b>
DRAWN BY: KLN	SCALE: 1/4" = 1'-0"
CHECKED BY: KLN	
REVISION:	



NOTES: 1. PROVIDE A DOUBLE TOP PLATE ALONG THE SIDE WALLS WHEN THE RAFTER SPACING DOES NOT MATCH THE WALL STUD SPACING.  
 2. ACTUAL SKID SPACING MAY VARY PROVIDED THAT THE CENTER TO CENTER SPACING IS WITHIN THE MAXIMUM SPACING STATED.  
 3. 2x6 FRAMING MAY BE SUBSTITUTED FOR THE 2x4 FRAMING SHOWN. THE SPACING OF THE 2x6 FRAMING SHALL BE AS SHOWN FOR THE 2x4.

**BUILDING SECTIONS**

**LOFTED BARN--NEW MEXICO--SNOW=60PSF---IBC 2021**

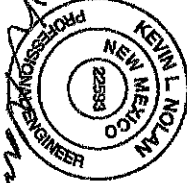


9-3-24



PROJECT NO:	09-03-2024
DATE:	KLN
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

SHEET NUMBER  
**S-31**  
 SCALE: 1/4" = 1'-0"



9-3-24

# LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021



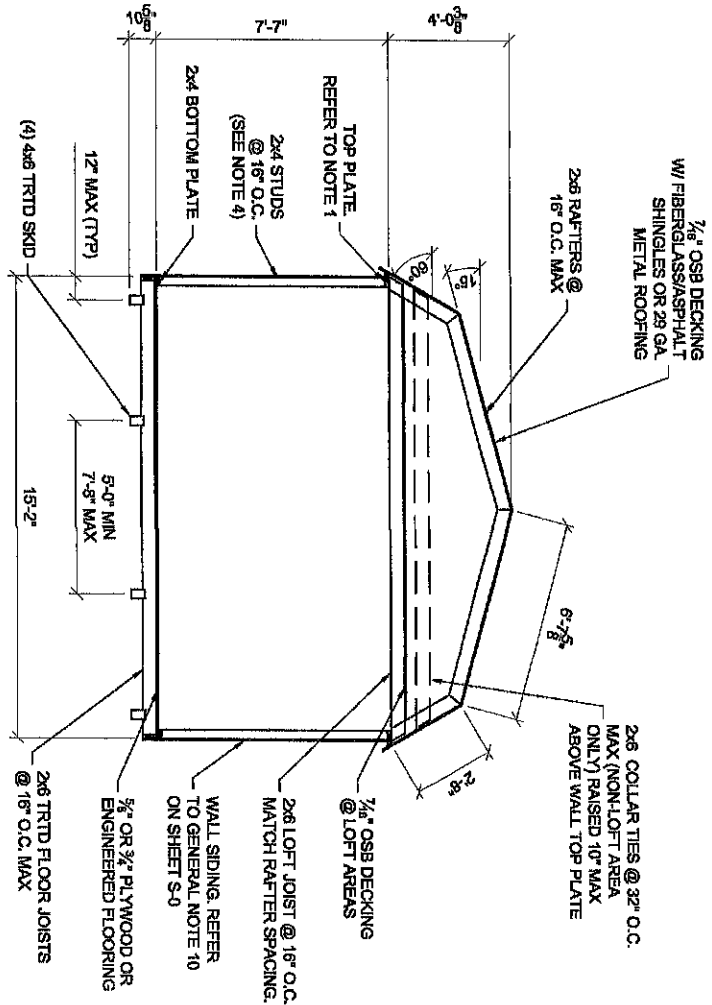
PROJECT NO.:	
DATE:	08-03-2024
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

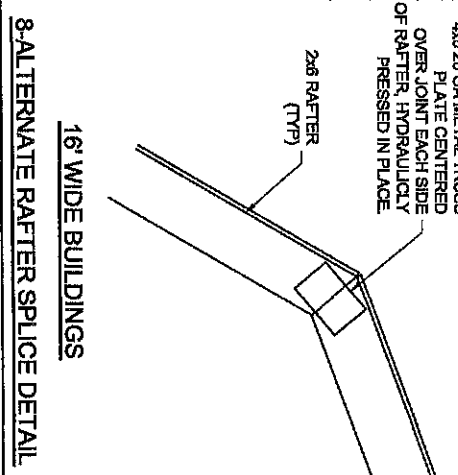
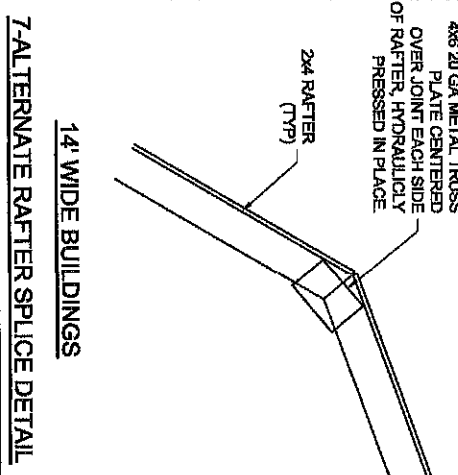
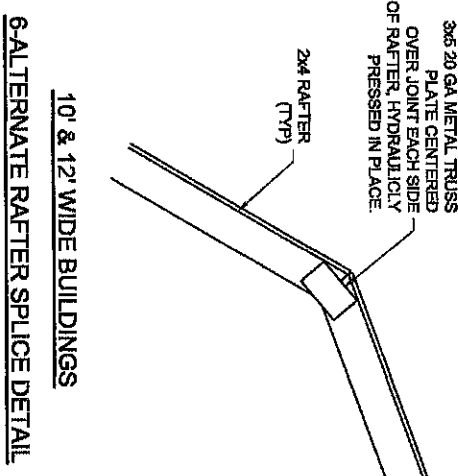
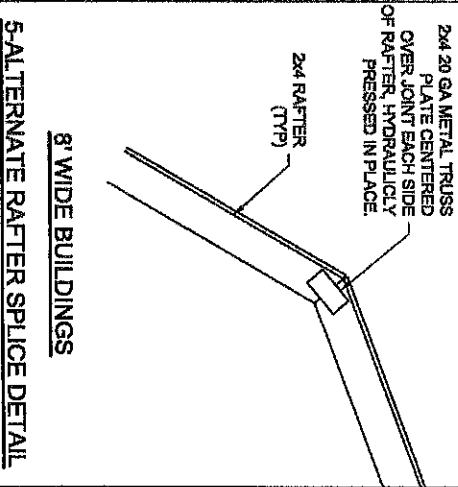
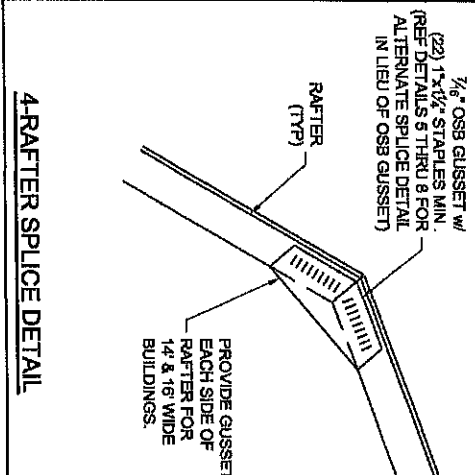
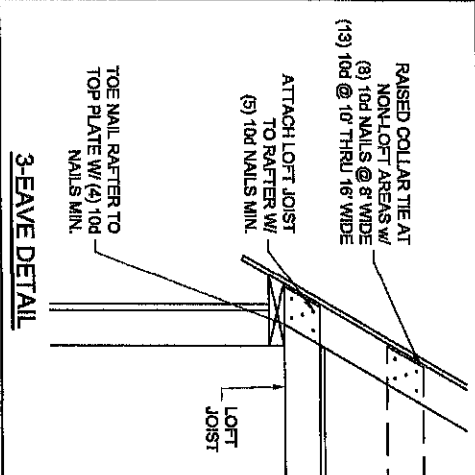
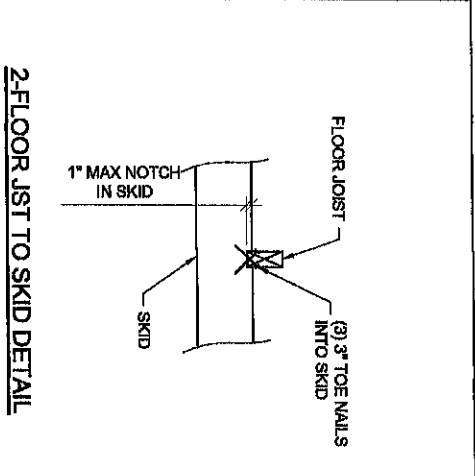
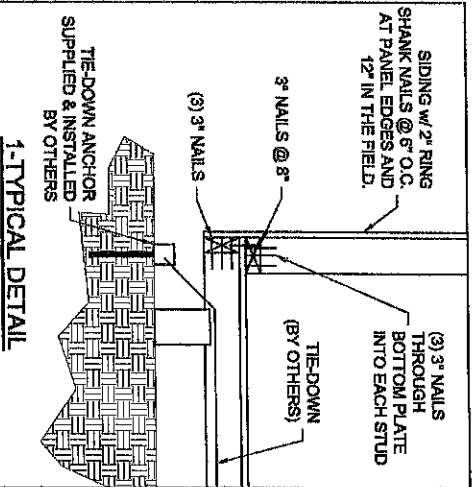
SHEET NUMBER  
**S-32**  
SCALE: 1/4" = 1'-0"

- NOTES: 1. PROVIDE A DOUBLE TOP PLATE ALONG THE SIDE WALLS WHEN THE RAFTER SPACING DOES NOT MATCH THE WALL STUD SPACING.  
 2. ACTUAL SKID SPACING MAY VARY PROVIDED THAT THE CENTER TO CENTER SPACING IS WITHIN THE MAXIMUM SPACING STATED.  
 3. 2x6 FRAMING MAY BE SUBSTITUTED FOR THE 2x4 FRAMING SHOWN. THE SPACING OF THE 2x6 FRAMING SHALL BE AS SHOWN FOR THE 2x4.  
 4. WALL STUDS ARE PERMITTED TO BE SPACED AT 24" O.C. FOR 5/8" T-1-1 SIDING PROVIDED A DOUBLE TOP PLATE IS USED ALONG THE SIDE WALLS.

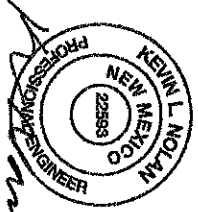
## BUILDING SECTION

16' WIDE





# LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021



9-3-24



PROJECT NO:	
DATE:	09-03-2024
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

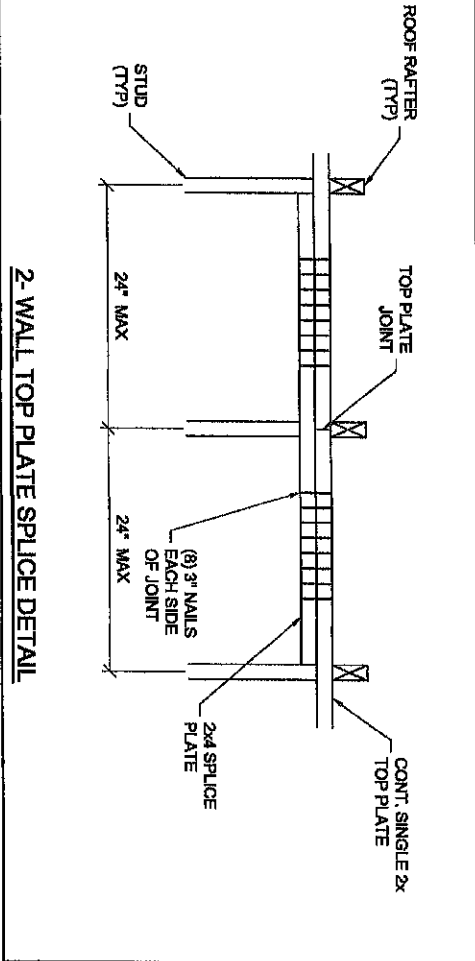
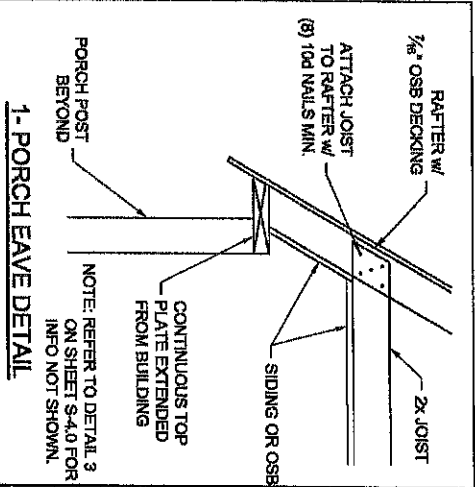
SHEET NUMBER  
**S-40**  
SCALE: 1"=1'-0"

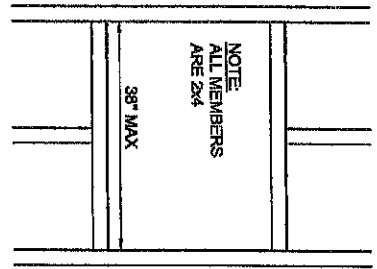
# LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021



PROJECT NO:	
DATE:	09-03-2024
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

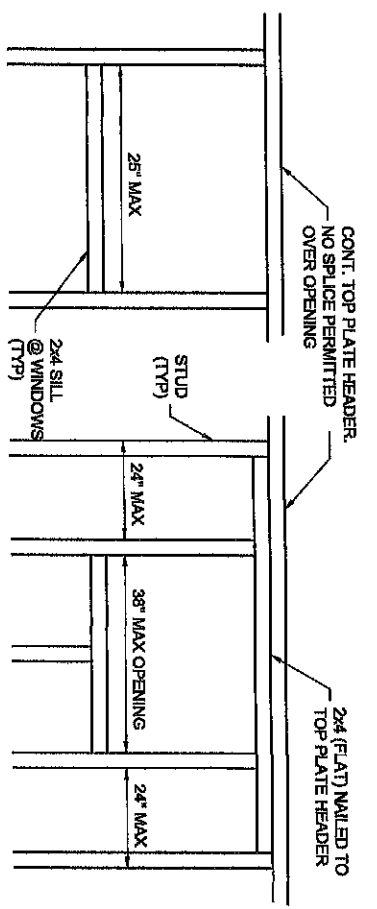
SHEET NUMBER  
**S-41**  
SCALE: 1"=1'-0"





NOTE:  
ALL MEMBERS  
ARE 2x4

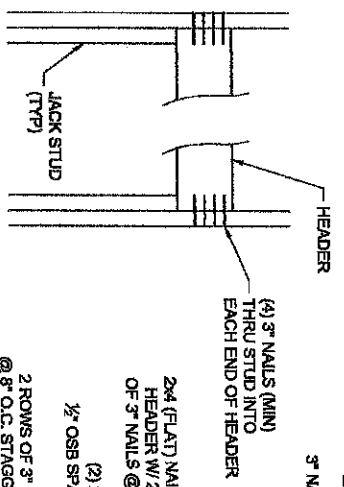
1-TYP ENDWALL WINDOW FRAMING



CONT. TOP PLATE HEADER.  
NO SPLICE PERMITTED  
OVER OPENING

2x4 (FLAT) NAILED TO  
TOP PLATE HEADER

2-TYP SIDE WALL WINDOW/DOOR FRAMING

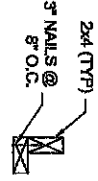


(4) 3" NAILS (MIN)  
THRU STUD INTO  
EACH END OF HEADER

2x4 (FLAT) NAILED TO  
HEADER W/ 2 ROWS  
OF 3" NAILS @ 8" O.C.  
2x4 w/  
1/2" OSB SPACER.  
2 ROWS OF 3" NAILS  
@ 8" O.C. STAGGERED



SIDE WALL HEADER  
FOR OPENINGS UP  
TO 6'-0"



END WALL HEADER FOR  
OPENINGS UP TO 9'-0"  
SIDE WALL HEADER FOR  
4'-0" OPENINGS.

2x4 (FLAT) NAILED TO  
HEADER W/ 2 ROWS  
OF 3" NAILS @ 8" O.C.  
(2) 2x6 w/  
1/2" OSB SPACER  
2 ROWS OF 3" NAILS  
@ 8" O.C. STAGGERED



SIDE WALL HEADER FOR  
OPENINGS UP TO 9'-0"  
(BUILDINGS UP TO 14' WIDE)

2x4 (FLAT) NAILED TO  
HEADER W/ 2 ROWS  
OF 3" NAILS @ 8" O.C.  
(2) 2x6 w/  
1/2" OSB SPACER  
2 ROWS OF 3" NAILS  
@ 8" O.C. STAGGERED

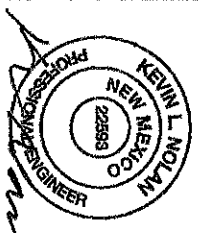


SIDE WALL HEADER FOR  
OPENINGS UP TO 9'-0"  
(16' WIDE BUILDINGS)

2x4 (FLAT) NAILED TO  
HEADER W/ 2 ROWS  
OF 3" NAILS @ 8" O.C.

3-DOOR HEADER SCHEDULE

NOTE:  
PROVIDE A 2x4 JACK STUD RIPPED DOWN TO  
1 1/2" UNDER EACH END OF LOAD BEARING  
HEADERS. NOT REQUIRED AT END WALLS.



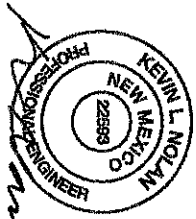
4-3-24

# LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021



PROJECT NO:	
DATE:	09-03-2024
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

SHEET NUMBER  
**S-42**  
SCALE: 1"-1'-0"



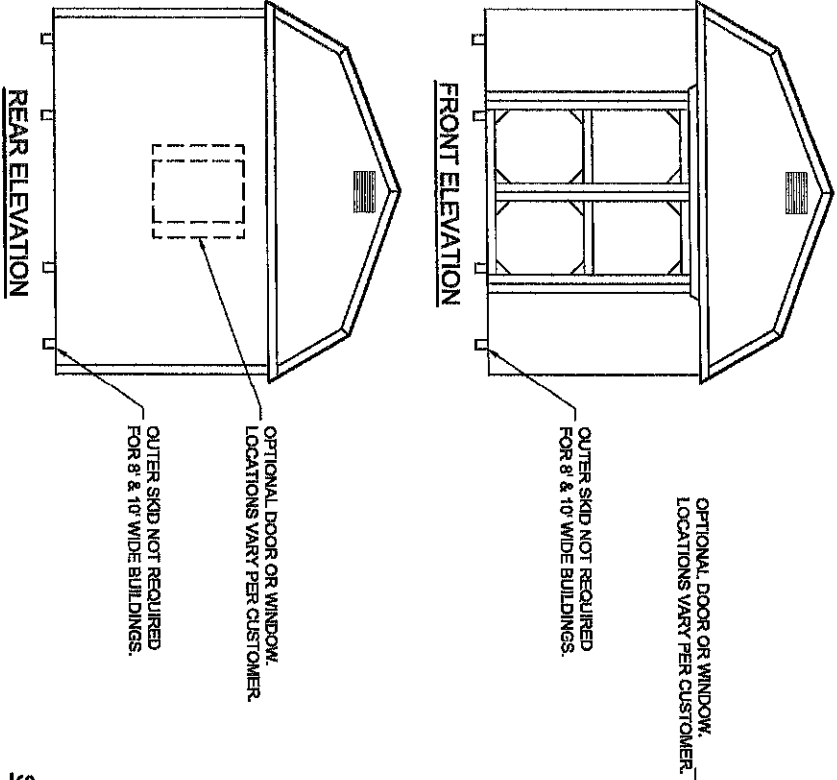
9-3-24

# LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021

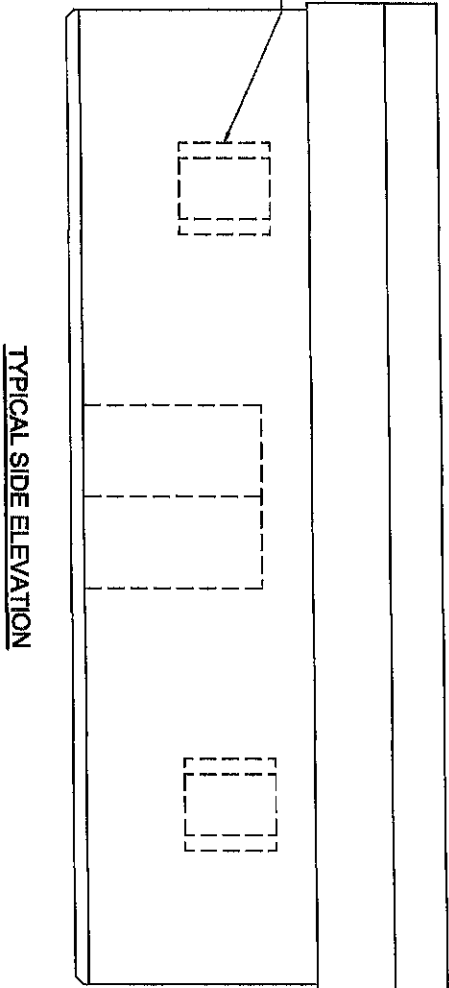


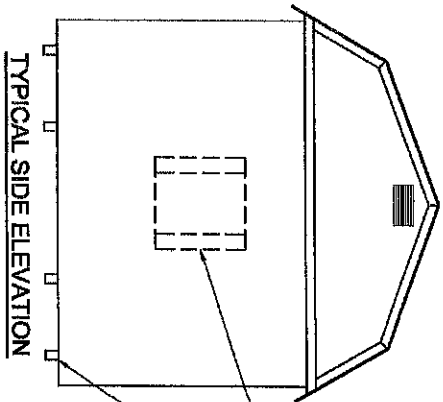
PROJECT NO:  
 DATE: 09-03-2024  
 DRAWN BY: KLN  
 CHECKED BY: KLN  
 REVISION:

SHEET NUMBER  
**S-50**  
 SCALE: NOT TO SCALE



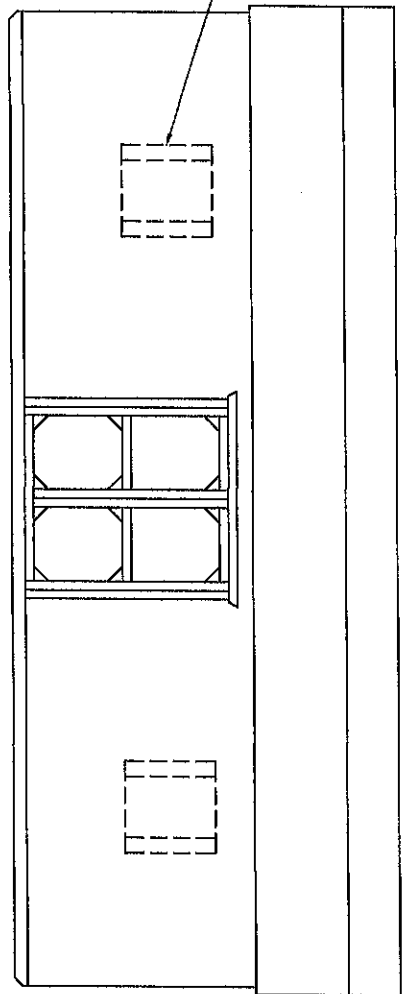
## STANDARD LOFTED BARN ELEVATIONS



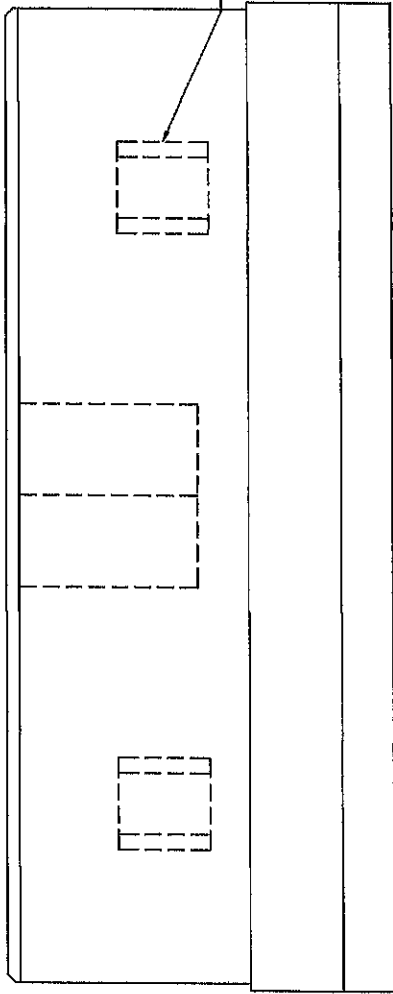


TYPICAL SIDE ELEVATION

OPTIONAL DOOR OR WINDOW,  
LOCATIONS VARY PER CUSTOMER.  
OUTER SKID NOT REQUIRED  
FOR 8' & 10' WIDE BUILDINGS.



FRONT ELEVATION



REAR ELEVATION

OPTIONAL DOOR OR WINDOW,  
LOCATIONS VARY PER CUSTOMER.

SIDE ENTRY LOFTED BARN ELEVATIONS

**LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021**

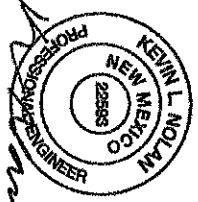


9-3-24



PROJECT NO.	
DATE	09-03-2024
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

SHEET NUMBER  
**S-51**  
SCALE: NOT TO SCALE



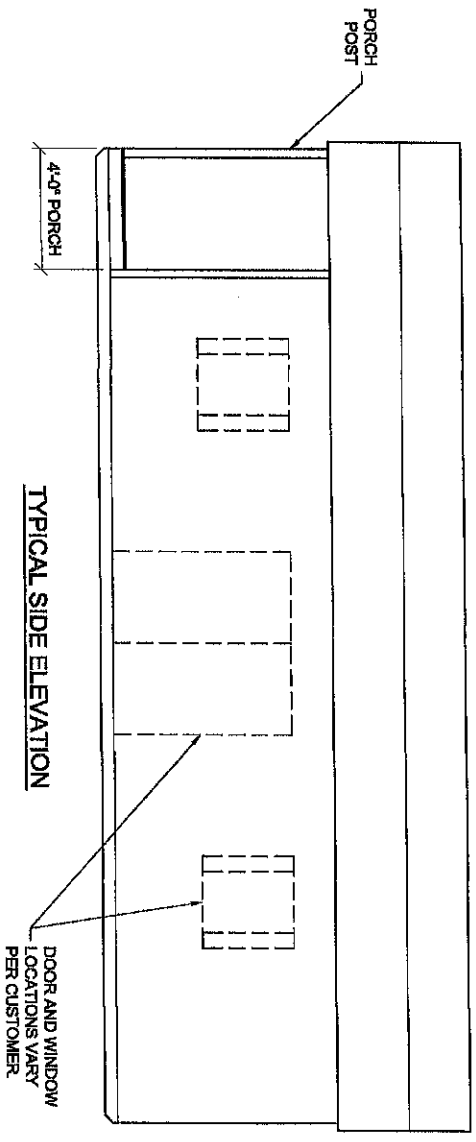
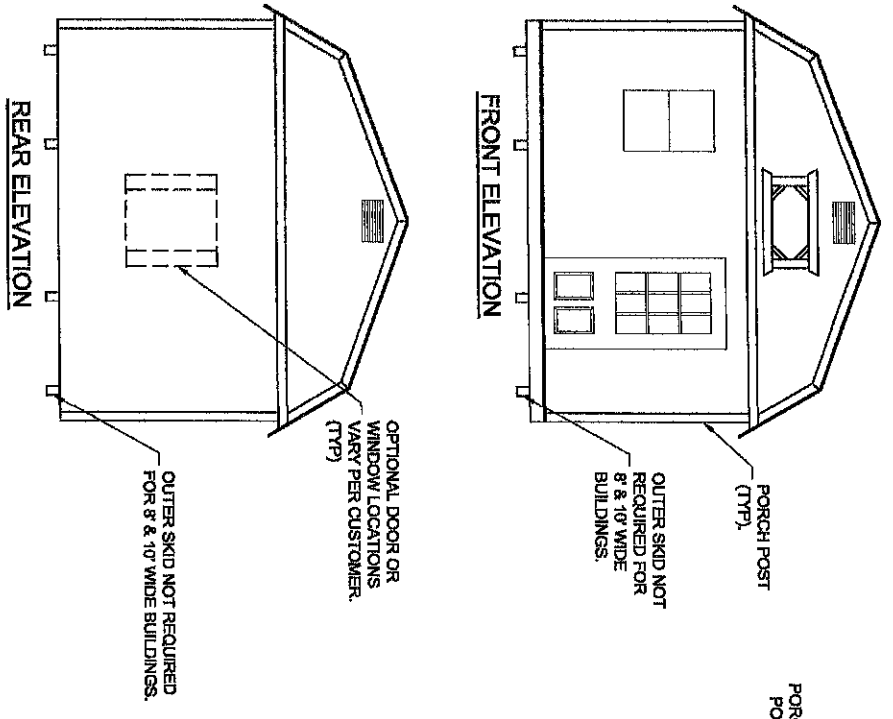
4-3-24

# LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021

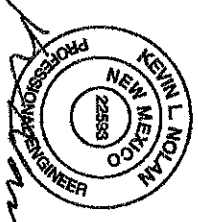


PROJECT NO:  
DATE: 09-09-2024  
DRAWN BY: KLN  
CHECKED BY: KLN  
REVISION:

SHEET NUMBER  
**S-52**  
SCALE: NOT TO SCALE



## PLAYHOUSE ELEVATIONS



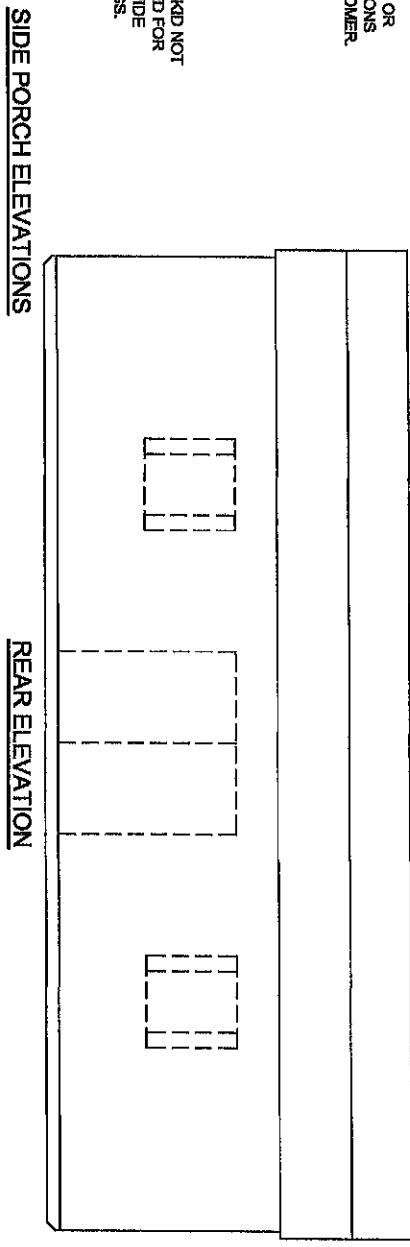
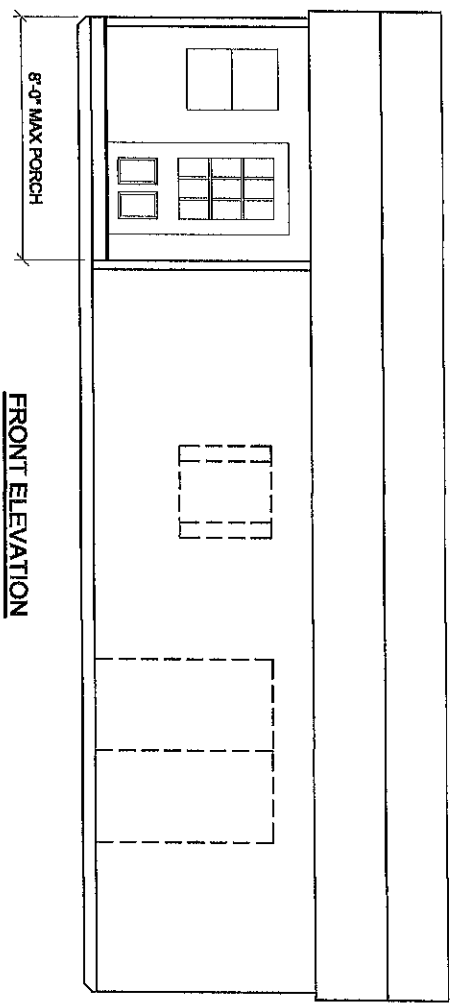
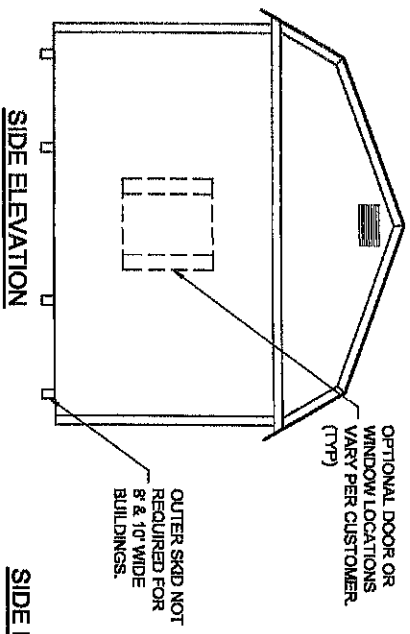
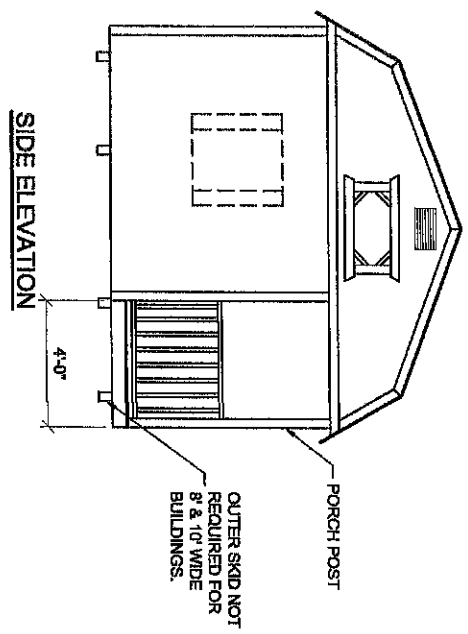
4-3-24

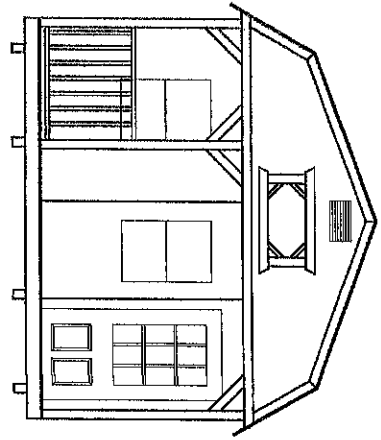
# LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021



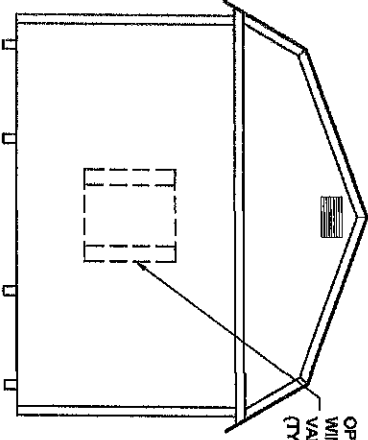
PROJECT NO:	
DATE:	09-03-2024
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

SHEET NUMBER  
**S-53**  
SCALE: NOT TO SCALE





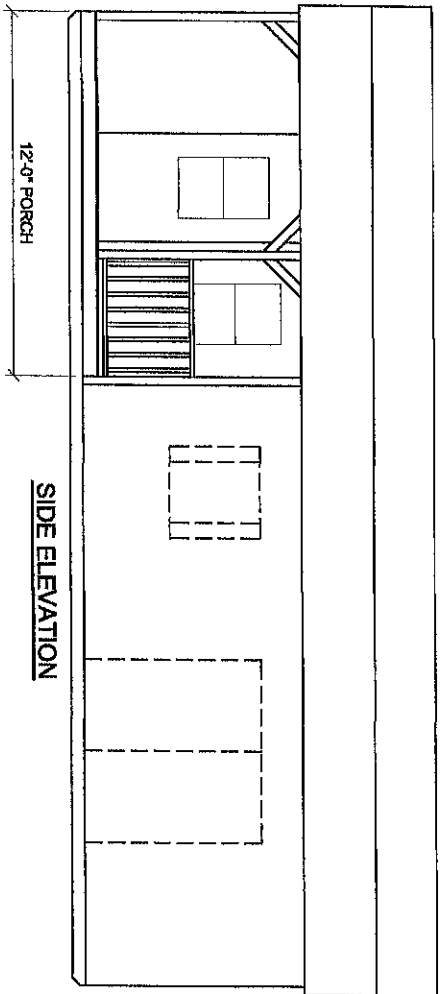
**FRONT ELEVATION**



**REAR ELEVATION**

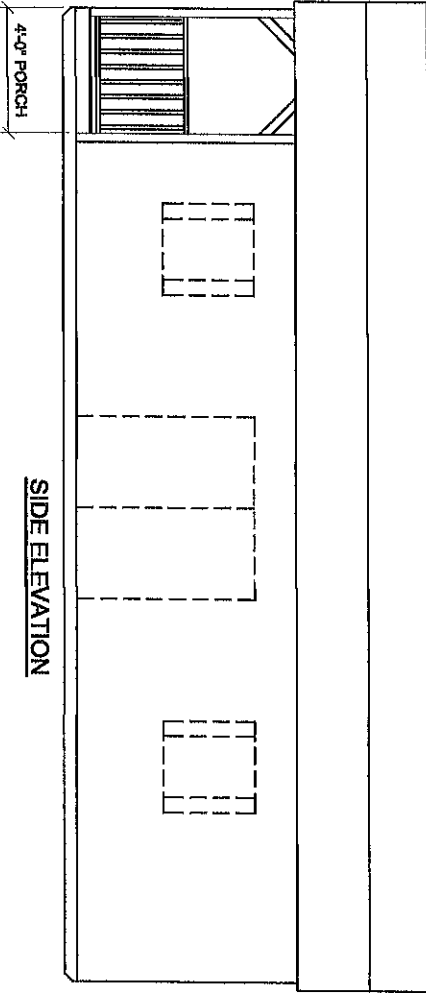
OPTIONAL DOOR OR WINDOW LOCATIONS VARY PER CUSTOMER (TYP)

**DELUXE PLAYHOUSE ELEVATIONS**



**SIDE ELEVATION**

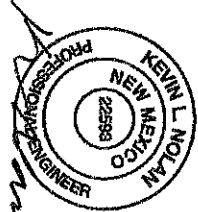
12'-0" PORCH



**SIDE ELEVATION**

4'-0" PORCH

**LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021**

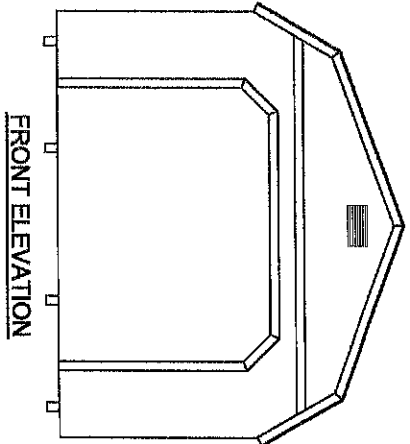


9-3-24



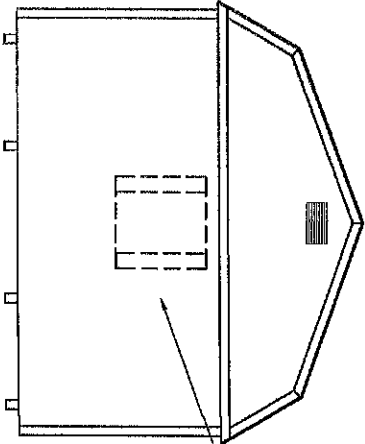
PROJECT NO:	
DATE:	09-03-2024
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

SHEET NUMBER  
**S-54**  
SCALE: NOT TO SCALE



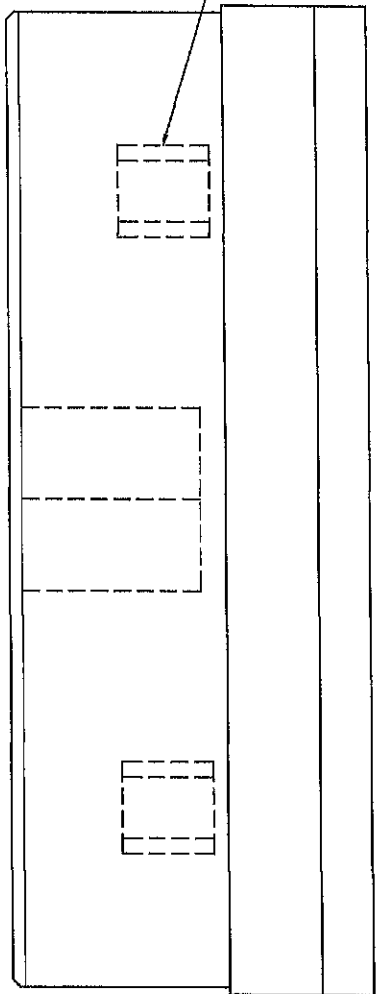
FRONT ELEVATION

OPTIONAL DOOR OR WINDOW,  
LOCATIONS VARY PER CUSTOMER.



REAR ELEVATION

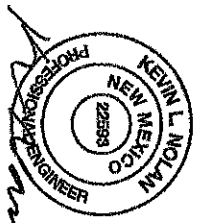
OPTIONAL DOOR OR WINDOW,  
LOCATIONS VARY PER CUSTOMER.



TYPICAL SIDE ELEVATION

LOFTED BARN W/ ROLL-UP DOOR ELEVATIONS

**LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021**

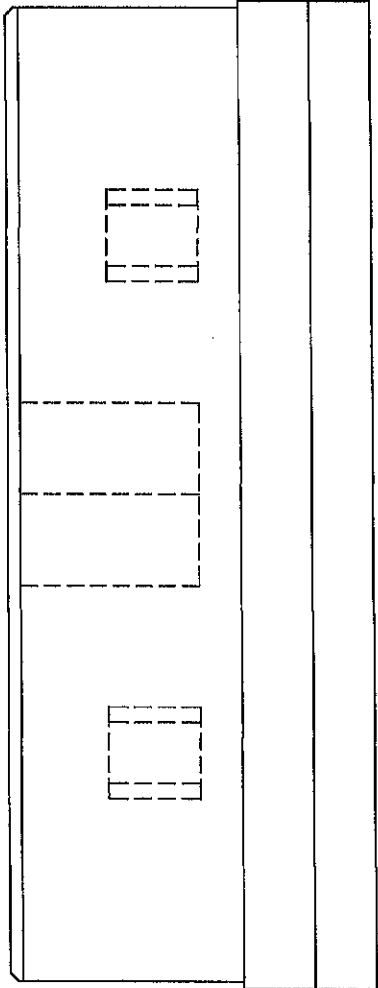
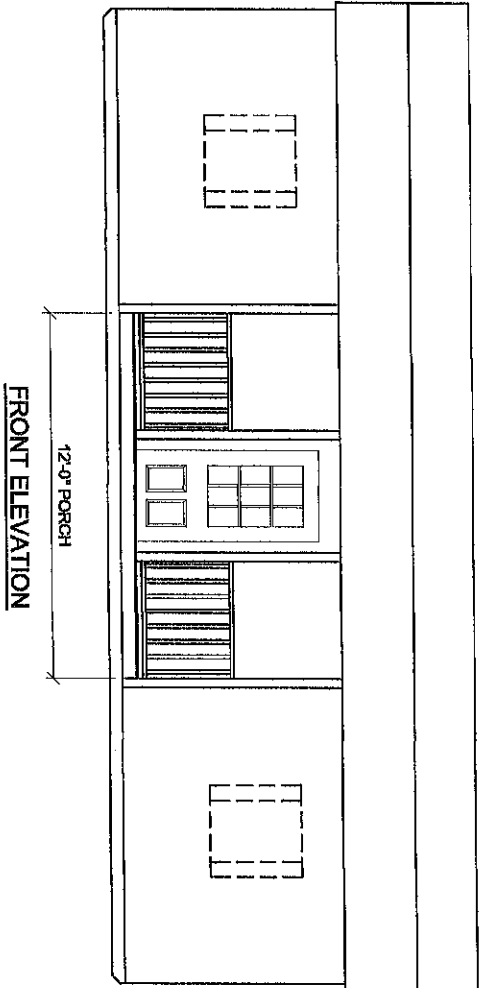
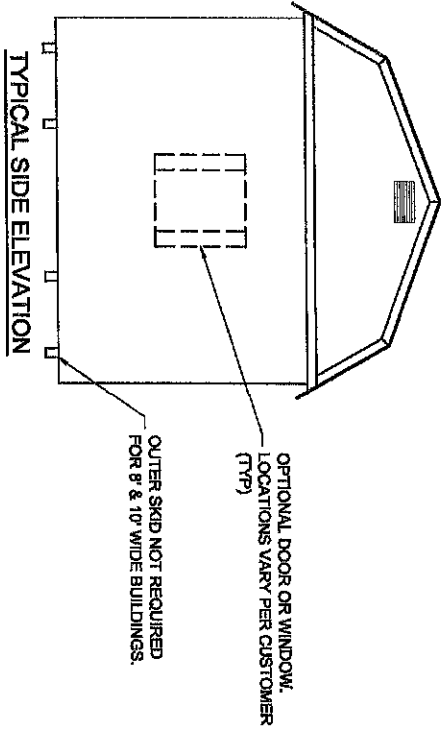


4-3-24



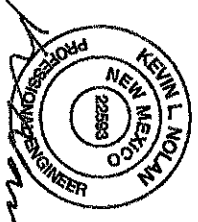
PROJECT NO:	
DATE:	09-03-2024
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

SHEET NUMBER  
**S-55**  
SCALE: NOT TO SCALE



CENTER PORCH ELEVATIONS

LOFTED BARN--NEW MEXICO--SNOW=60PSF--IBC 2021



4-3-24

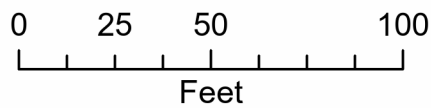


PROJECT NO:	
DATE:	09-03-2024
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

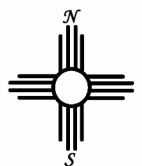
SHEET NUMBER  
**S-56**  
SCALE: NOT TO SCALE



- Carlsbad Address
- Parcel
- City Boundary
- Roads
- Water Main
- Sewer Main
- Proposed Structure



IMPORTANT: Maps, products and data are NOT surveyor quality and are only to be used as a reference.





**CITY OF CARLSBAD  
AGENDA BRIEFING  
MEMORANDUM**

Council Meeting Date: April 6, 2026

<b>DEPARTMENT:</b> Planning & Zoning	<b>BY:</b> Miguel Martinez	<b>DATE:</b> 03/09/2026
<p><b>SUBJECT:</b> Consider a recommendation to City Council regarding a request to change the zoning to approximately 0.28 acres located at 2305 West Jackson Street, legally described as Tract 2, Jackson Replat Subdivision, from “C-2” Commercial 2 District to “R-1” Residential 1 District</p>		
<p><b>BACKGROUND, ANALYSIS AND IMPACT:</b> (Safety and Welfare/Financial/Personnel/Infrastructure/etc.) Request for Zone Change from “C-2” Commercial 2 District to “R-1” Residential 1 District for approximately 0.28 acres located at 2305 West Jackson Street, legally described as Subd: JACKSON REPLAT Tract: 2; pursuant to Section 3-21-1 et. Seq. NMSA 1978 and Sections 56-150(b) and 56-140(i), Carlsbad Code of Ordinances.</p> <p>Applicant/Owner: Lupe Q Ornelas 2305 West Jackson Street Carlsbad, NM 88220</p> <p><i>*The applicant provided the required notification to property owners within 100’ and agreed to post the required sign 5-days prior to the public hearing as required by Sec. 56-140(i). The City will notify the property owners’ 15-days prior to the City Council hearing and publish notification in the newspaper 30-days prior to said hearing.</i></p> <p>Request for Zone Change from “C-2” Commercial 2 District to “R-1” Residential 1 District for the 0.28-acre property located at 2305 West Jackson Street.</p> <p>The properties to the north and west are zoned “R-1” Residential 1 District. The properties to the east and south are zoned “C-2” Commercial 2 District. This change would not create a spot zone.</p> <p><b>Sec. 56-40(d) of the Zoning Ordinance states:</b></p> <p>(b) <b>Residential 1 (R-1) district.</b> The residential 1 district is intended to accommodate moderate density single-family residential development and to provide land-use protection for areas that develop in such a manner. There shall be a maximum of one primary residence per lot for R-1</p>		

## **Residential District Zoning.**

Comprehensive Plan: Strategy 2040 goals and policies that are applicable to this request are:

### **Chapter 4: Housing & Neighborhoods**

#### **Objectives:**

- *To preserve the character, identity, and integrity of established neighborhoods.*
- *To encourage the on-going maintenance of rental and owner-occupied properties.*
- *To ensure public reinvestment and improvements in existing neighborhoods.*

### **Chapter 5: Land Use**

#### **Objectives:**

- *To identify areas of opportunity for infill and redevelopment.*
- *To encourage redevelopment of vacant or underutilized properties for residential, commercial, or mixed-use development.*
- *To foster community pride through participation in Keep Carlsbad Beautiful and other property clean-up efforts.*

According to Zoning Ordinance Sec. 56-150(b)(4). Amendments, Findings Required, a statement of fact regarding each of the following findings is required:

An amendment to the Official Zoning Map or to the Text of this Zoning Ordinance must be justified by one or more of the following findings:

(a) The proposed amendment will or will not adversely impact the public health, safety or general welfare and will or will not promote the original purposes of the Zoning Ordinance; and

(b) The proposed amendment responds or does not respond to changed conditions, such as changes in public capital investments, road locations or functional classification, population trends, density, use or further studies that have been completed since adoption of the Zoning Ordinance; and

(c) The proposed amendment is or is not necessary in order to respond to State and/or Federal legislation; and

(d) The proposed amendment provides or does not provide additional flexibility in meeting the objectives of this Zoning Ordinance without lowering the standards of the Zoning Ordinance; and

(e) The proposed amendment is or is not in substantial compliance with the City's Comprehensive Plan or other City Master Plan; and

(f) The proposed amendment will or will not adversely affect the implementation of the goals and policies of the City's Comprehensive Plan or other City Master Plan; and

(g) The proposed amendment is justified in order to correct a mistake in the Official Zoning Map or the text of the Zoning Ordinance; and

(h) The proposed amendment is justified in order to respond to changes in the City's

Comprehensive Plan or other City Master Plan including, but not limited to, changes in land use assumptions, surrounding uses, population forecasts, rates of land consumption, anticipated community needs or other factors.

**DEPARTMENT RECOMMENDATION:**

After review of the application and staff comments, planning staff recommends approval of this request.

Utilities Department:

Building Department: Recommend approval

Fire Department: Recommend approval

Legal Department: Recommend approval

Police Department: Recommend approval

Project Department: Recommend approval

Planning Department: Recommend approval

Code Enforcement: No Comments

**BOARD/COMMISSION/COMMITTEE ACTION:**

Planning & Zoning Commission -

**Reviewed by:**

City Manager:	Date:
---------------	-------

**Attachments:**

1. 2305 Jackson St - Application Items



**CITY OF CARLSBAD**  
*Planning, Engineering, and  
Regulation Department*  
PO Box 1569, Carlsbad, NM 88221  
Phone (575) 885-1185  
Fax (575) 628-8379

## ZONING CHANGE APPLICATION

Sec. 56-150(b)

Application Date: \_\_\_\_\_  
Existing Zoning: C-2

Fee Paid (\$100.00): \_\_\_\_\_  
Proposed Zoning: R-1

### APPLICANT INFORMATION:

Lupe Ornelas 2305 Jackson st  
NAME ADDRESS

Carlsbad NM 88220 575-361-4023 LOrnelas@gmail.com  
CITY STATE ZIP PHONE EMAIL

### PROPERTY OWNER INFORMATION (attach separate sheet for multiple owners):

Lupe Ornelas 2305 Jackson st  
NAME ADDRESS

Carlsbad NM 88220 575-361-4023 LOrnelas@gmail.com  
CITY STATE ZIP PHONE EMAIL

\* A signed affidavit from the property owner(s), consenting to submittal of the application, must be included with the application.

### LEGAL DESCRIPTION AND/OR STREET ADDRESS OF PROPERTY (INCLUDE A MEETS AND BOUNDS DESCRIPTION FOR UNPLATTED LAND, ATTACH SEPARATE SHEET, IF NECESSARY):

2305 Jackson st 3 A Jackson  
ADDRESS LOT BLOCK SUBDIVISION

**REASON FOR THE REQUEST**

An amendment to the Official Zoning Map or to the Text of the Zoning Ordinance must be justified by one or more of the following. Check all that apply:

- The proposed amendment will not adversely impact the public health, safety or general welfare and will or will not promote the original purposes of the Zoning Ordinance.
- The proposed amendment responds to changed conditions, such as changes in public capital investments, road locations or functional classification, population trends, density, use or further studies that have been completed since adoption of the Zoning Ordinance.
- The proposed amendment is necessary in order to respond to State and/or Federal legislation.
- The proposed amendment provides additional flexibility in meeting the objectives of this Zoning Ordinance without lowering the standards of the Zoning Ordinance.
- The proposed amendment is in substantial compliance with the City's Comprehensive Plan or other City Master Plan.
- The proposed amendment will not adversely affect the implementation of the goals and policies of the City's Comprehensive Plan or other City Master Plan.
- The proposed amendment will correct a mistake in the Official Zoning Map or the text of the Zoning Ordinance.
- The proposed amendment is justified in order to respond to changes in the City's Comprehensive Plan or other City Master Plan including, but not limited to, changes in land use assumptions, surrounding uses, population forecasts, rates of land consumption, anticipated community needs or other factors.

**FOR OFFICIAL USE ONLY:**

**Required prior to P & Z:**

Complete Application Including:  Map  Fee  Letter  Notification  Sign Agreement

**Required prior to City Council:**

Council Hearing Date: \_\_\_\_\_ Publication Date: \_\_\_\_\_

Property Owner Notification Sent (within 100' minimum.): \_\_\_\_\_

ABM  Staff Comments  Application Packet  Draft Ordinance  P&Z Minutes

Council Action:  Approved  Denied  Other Ordinance No.: \_\_\_\_\_

# NOTIFICATION SIGN POSTING AGREEMENT

Notification of Public Hearings before the City of Carlsbad Planning and Zoning Commission is required pursuant to Sec. 56-140(i).

- Signs shall be posted a minimum of 5 days prior to and shall be removed a maximum of 5 days after the public hearing.
- If the sign is not posted as required, the application will be delayed and will not be considered at the public hearing as scheduled.
- The sign shall be posted at the street side property line with a secure stake provided by the applicant.

I have read and understand these requirements. I understand where the sign is to be located and my obligation to post the sign prior to the public hearing and remove it afterwards.

  
 \_\_\_\_\_  
 APPLICANT SIGNATURE

2-26-26  
 \_\_\_\_\_  
 DATE

Sign issued by: \_\_\_\_\_  
 Staff Member

Notification Agreement Rev. 10/11

Date: \_\_\_\_\_

Dear Property Owner,

This letter serves as legal notification of a pending action before the City of Carlsbad Planning and Zoning Commission in accordance with Code of Ordinances Sec. 56-140(i). You are being notified because you are a property owner within one-hundred feet (100') of the subject site.

Applicant: Lupe Ornelas 2305 Jackson 575-361-4623  
Name Address Phone

Subject Site Location: 2305 Jackson

The proposed action is a:

Zoning Change from C-2 to R-1 in accordance with Sec. 56-150(b).

Variance/Appeal from Sec. \_\_\_\_\_ in accordance with Sec. 56-150(c).

The purpose of the variance/appeal is:

\_\_\_\_\_  
\_\_\_\_\_

Conditional Use Permit in accordance with Sec. 56-150(f). The purpose of the permit is for a:

Home Occupation: \_\_\_\_\_

Other Use: \_\_\_\_\_

**The Planning and Zoning Commission will consider this request at a Public Hearing on:**

**Date:** April 6, 2026

**Time:** 5:00pm

**Place:** City Annex Planning Room

114 S. Halagueno St.

Carlsbad, NM 88220

The Code of Ordinances can be found on the City's website [www.cityofcarlsbadnm.com](http://www.cityofcarlsbadnm.com). For details about this request contact the applicant OR contact the City Planner at 575-885-1185 or via email at [jepatterson@cityofcarlsbadnm.com](mailto:jepatterson@cityofcarlsbadnm.com).

Sincerely,

Applicant/Agent

9589 0710 5270 4109 8484 23

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**Carlsbad, NM 88220**

**OFFICIAL USE**

Certified Mail Fee	\$5.30
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.78
Total Postage and Fees	\$6.08

Sent To  
 Street and Apt. No., or PO Box No.  
 City, State, ZIP+4®

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions



9589 0710 5270 4109 8457 36

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**Carlsbad, NM 88220**

**OFFICIAL USE**

Certified Mail Fee	\$5.30
Extra Services & Fees (check box, add fee as appropriate)	\$4.40
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.78
Total Postage and Fees	\$10.48

Sent To  
 Street and Apt. No., or PO Box No.  
 City, State, ZIP+4®

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions



9589 0710 5270 4109 8484 54

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**Carlsbad, NM 88220**

**OFFICIAL USE**

Certified Mail Fee	\$5.30
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.78
Total Postage and Fees	\$6.08

Sent To  
 Street and Apt. No., or PO Box No.  
 City, State, ZIP+4®

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions



9589 0710 5270 4109 8484 09

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**Carlsbad, NM 88220**

**OFFICIAL USE**

Certified Mail Fee	\$5.30
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.78
Total Postage and Fees	\$6.08

Sent To  
 Street and Apt. No., or PO Box No.  
 City, State, ZIP+4®

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions



9589 0710 5270 4109 8484 30

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

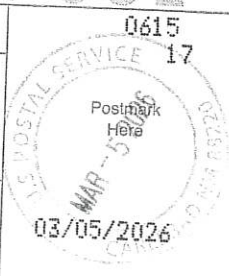
**Carlsbad, NM 88220**

**OFFICIAL USE**

Certified Mail Fee	\$5.30
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.78
Total Postage and Fees	\$6.08

Sent To  
 Street and Apt. No., or PO Box No.  
 City, State, ZIP+4®

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions



9589 0710 5270 4109 8483 93

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**Carlsbad, NM 88220**

**OFFICIAL USE**

Certified Mail Fee	\$5.30
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.78
Total Postage and Fees	\$6.08

Sent To  
 Street and Apt. No., or PO Box No.  
 City, State, ZIP+4®

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions



use amelas

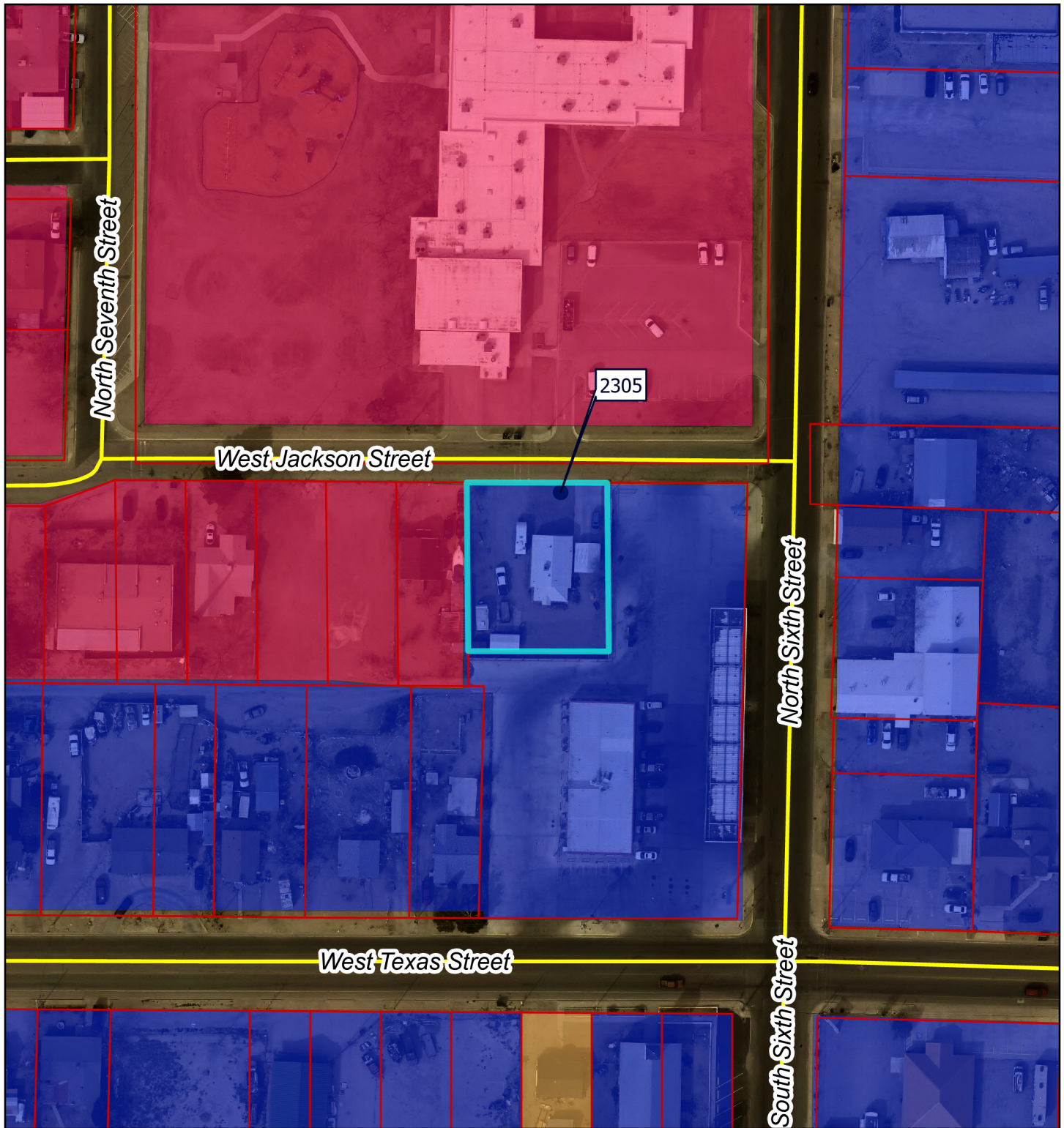


Scale: 1:1,200  
1 inch = 100 feet

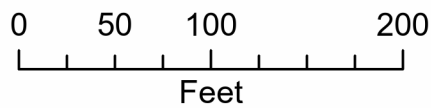
### Zone Change Carlsbad, NM

Map # 3502\_ed02

Date: 3/11/2026



- Carlsbad Address
- Parcel
- Zoning
  - R-1
  - R-2
  - C-2
- City Boundary
- Roads



IMPORTANT: Maps, products and data are NOT surveyor quality and are only to be used as a reference.





**CITY OF CARLSBAD  
AGENDA BRIEFING  
MEMORANDUM**

Council Meeting Date: April 6, 2026

<b>DEPARTMENT:</b> Planning & Zoning	<b>BY:</b> Jeff Patterson	<b>DATE:</b> 03/24/2026
<p><b>SUBJECT:</b> Consider a recommendation to City Council regarding a request for Temporary Housing at 3501 Hidalgo Rd, a property approximately 2.5 acres in size, legally described as Tract 2, Summary Replat of a tract of land located in the SW1/4, NW1/4, Section 26, Township 22 South, Range 26 East</p>		
<p><b>BACKGROUND, ANALYSIS AND IMPACT:</b> (Safety and Welfare/Financial/Personnel/Infrastructure/etc.) Sec. 56-80 (10) states: Temporary Housing is permitted only on land currently (as of the date of approval of these regulations) zoned “C-2” Commercial District, “R-R” Rural Residential District, and “I” Industrial District, excepting the area that constitutes the Carlsbad Airport Industrial Park (CAIP), with a minimum of two acres for the temporary housing area, and where primary access to the area of Temporary Housing is from an Arterial Street, as defined in the Code of Ordinances.</p> <p>Due to the growth in the oil, gas, mining and energy sectors in recent years, southeastern New Mexico has seen an unprecedented increase in the demand for workforce and temporary housing. The existing housing market in Carlsbad continues to be insufficient to meet the needs of the current workforce. In an attempt to address this issue, in October 2013, the City Council approved temporary housing as one of the uses eligible for a Temporary Use Permit.</p> <p>If approved, in addition to the standard regulations for temporary uses, temporary housing must meet the Council-approved definition for temporary housing (see below) and the criteria described in the Temporary Use Application.</p> <p>“Temporary Housing. Housing for individuals or families, on a temporary basis, either in pre-fabricated, completely self-contained modular structures consisting of sleeping quarters, dining facilities, laundry facilities, restroom facilities and other amenities, OR individual self-contained recreational vehicles, not including tents. Specifically for the purpose of this definition, Temporary Housing may also be referred to as crew-camp housing, work force housing, congregate residence or employee housing. Residents living within the temporary housing may be employed solely by one company, industry or project or may be employed by a variety of employers.”</p> <p>A stipulation of the Temporary Housing permit Sec. 56-80 is that the property proposed be</p>		

at least 2 acres as a whole in area. The subject property is approximately 2.57 acres in size. The subject property is currently zoned "R-R" Rural Residential District.

The provided site plans show a total of five RV spaces for approval. The spaces are aligned along the eastern side of the property, and proper spacing between RV's has been observed. The RV spaces show a distance of five feet between the property fence along the east side of the property and the RV spaces. Sec. 56-80(10)(f)(i) stipulates that a minimum 20' setback shall be observed around the perimeter fence, and this setback shall remain free of all obstructions. The RV spaces will need to be altered to accommodate this requirement. The site plan shows a 24' wide drive aisle running north-south from Hidalgo Rd. to the spaces, with two ingress/egress lanes as the drive aisle meets Hidalgo Rd. The drive aisle terminates to the south of the spaces with a 100' diameter turnaround.

The applicant has yet to produce a valid septic plan to serve these RV spaces. NMED has prohibited connection to the existing septic at the property. The applicant is working toward a solution to address the septic needs of this request, but that plan has not been submitted or reviewed by the City.

The City's Building Department noted that the electric and water infrastructure installed to serve these RV spaces was not permitted through the City's Building Department, and code compliance for these two systems has not been confirmed. The applicant will need to have these systems checked by licensed contractors and permits issued to confirm that all installations are code-compliant moving forward.

There is a fire hydrant across Hidalgo Rd. within 100' of the subject property, and within 250' of the north-most RV space.

**DEPARTMENT RECOMMENDATION:**

After review with City staff, the Planning Department recommends that this item be tabled until more information can be provided regarding the septic plan and the code compliance regarding the plumbing and electrical setup.

**BOARD/COMMISSION/COMMITTEE ACTION:**

-

**Reviewed by:**

City Manager:	Date:
---------------	-------

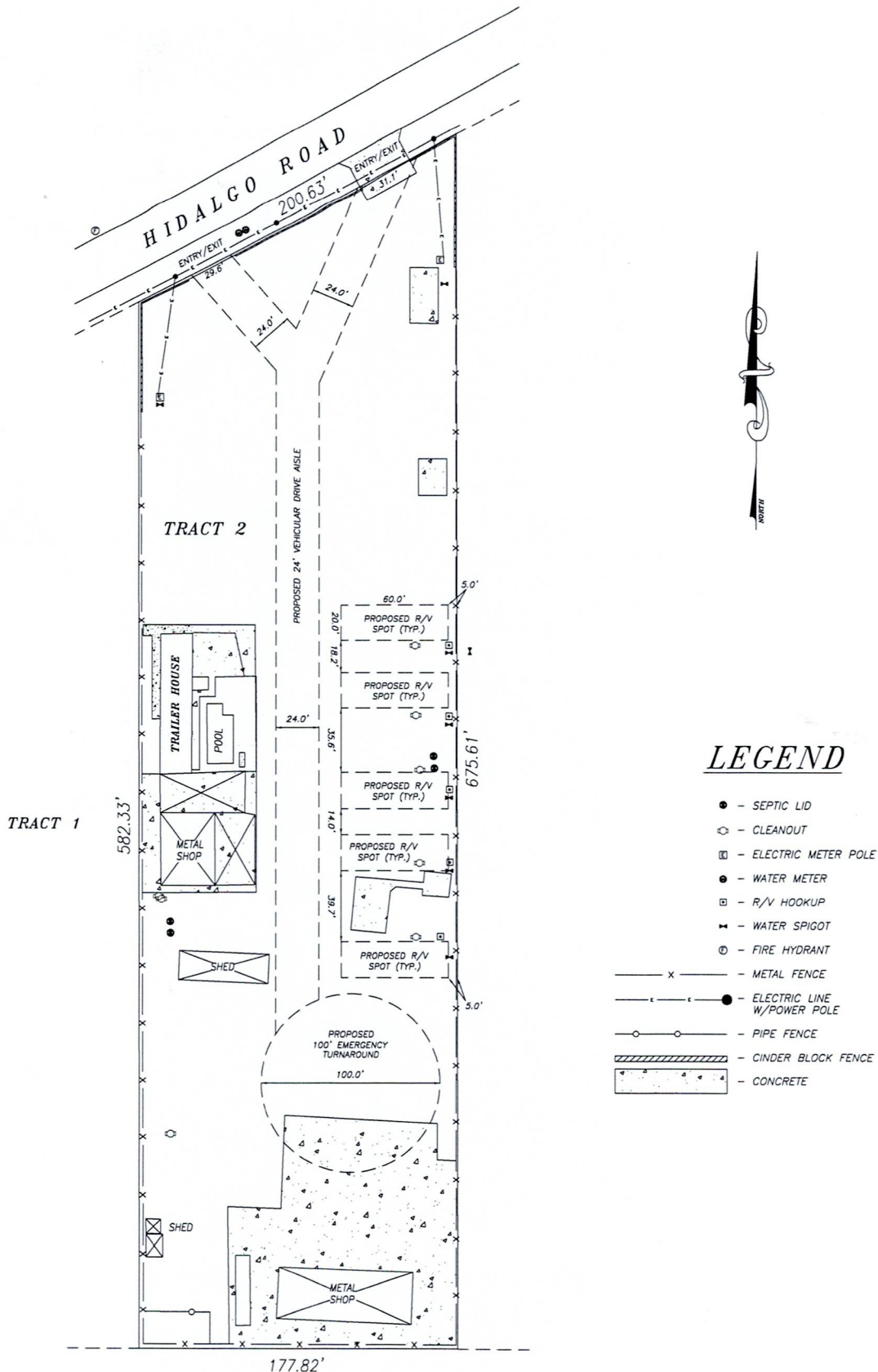
**Attachments:**

1. Scan2026-03-24\_081442
2. Site plan - 3501 Hidalgo Rd - Temp RV spaces
3. 26-120\_PRELIM SITE PLAN\_HIDALGO ROAD
4. Portrait1
5. Portrait2
6. Portrait3



# PRELIMINARY SITE PLAN

TRACT 2 AS SHOWN IN SUMMARY REPLAT FILED IN CABINET 2, SLIDE 52-3, OFFICIAL RECORDS EDDY COUNTY, NEW MEXICO



## LEGEND

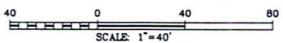
- - SEPTIC LID
- - CLEANOUT
- ⊠ - ELECTRIC METER POLE
- ⊙ - WATER METER
- ⊞ - R/V HOOKUP
- ⊞ - WATER SPIGOT
- ⊙ - FIRE HYDRANT
- x — - METAL FENCE
- ● — - ELECTRIC LINE W/POWER POLE
- ○ — - PIPE FENCE
- ▨ - CINDER BLOCK FENCE
- ▨ - CONCRETE



REFERENCE DOCUMENT:  
SUMMARY REPLAT (CAB. 2, SLIDE 52-3)

**NOTE:**  
This site plan is based on previous inspections. No monuments were set. This tract is subject to all easements, restrictions and reservations shown or on record. THIS IS NOT A BOUNDARY SURVEY AND MAY OR MAY NOT BE SUFFICIENT FOR THE SURVEY EXCEPTION FROM AN OWNER'S TITLE POLICY. IT MAY OR MAY NOT REVEAL ENCROACHMENTS, OVERLAPS, CONFLICTS IN BOUNDARY LINES, SHORTAGES IN AREA OR OTHER MATTERS WHICH WOULD BE DISCLOSED BY AN ACCURATE BOUNDARY SURVEY. IT SHOULD NOT BE USED FOR THE ESTABLISHMENT OF WALLS & FENCES. The above information may be based on boundary information taken from a previous survey and may not reflect that which may be disclosed by a boundary survey.

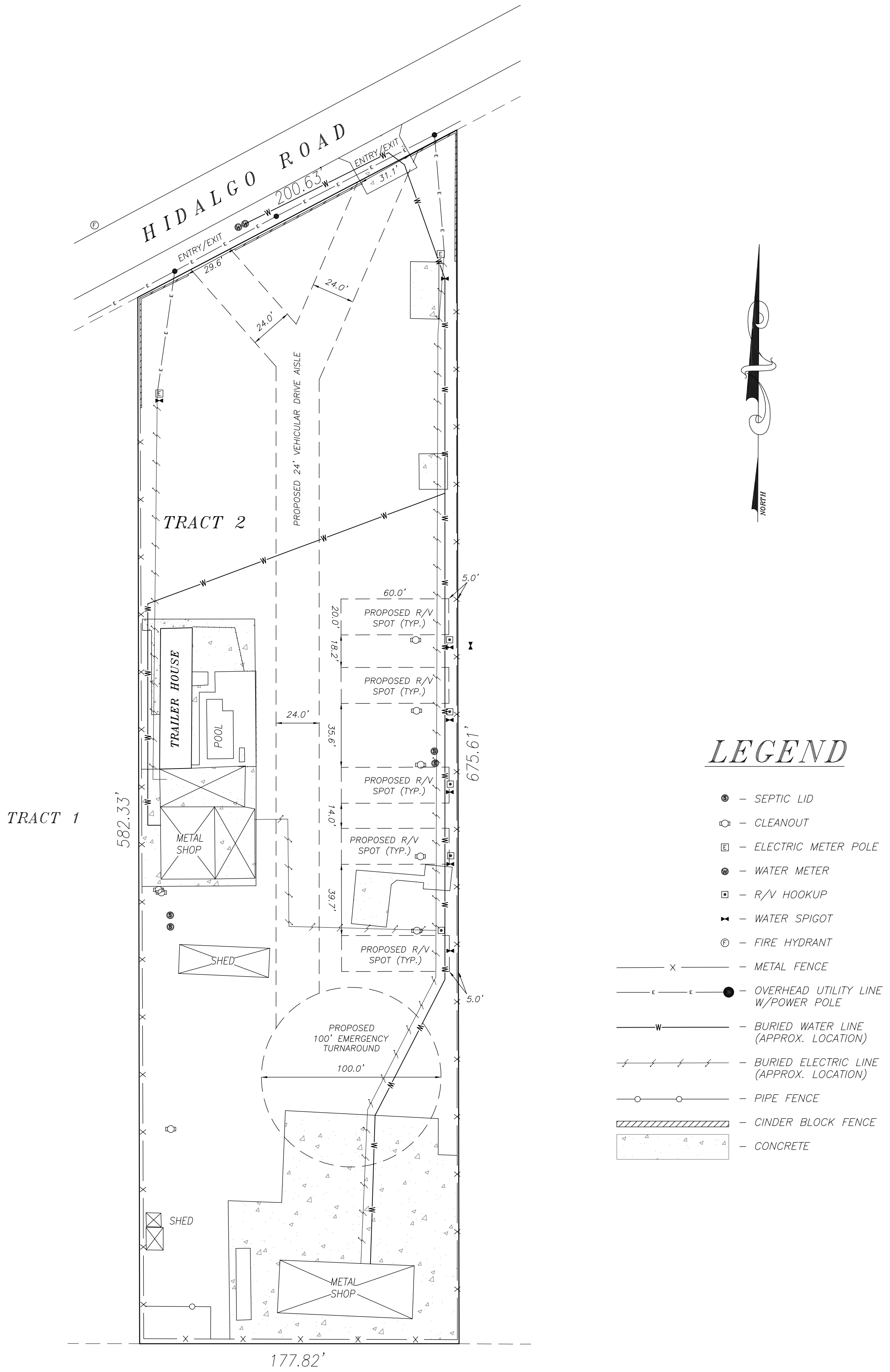
HARCROW SURVEYING, LLC  
2316 W. MAIN ST, ARTESIA, N.M. 88210  
PH: (575) 746-2158  
c.harcrow@harcrowsurveying.com



SURVEY DATE: MARCH 3, 2026	SITE PLAN
DRAFTING DATE: MARCH 19, 2026	PAGE: 1 OF 1
APPROVED BY: CH	DRAWN BY: CH

# PRELIMINARY SITE PLAN

TRACT 2 AS SHOWN IN SUMMARY REPLAT FILED IN CABINET 2, SLIDE  
52-3, OFFICIAL RECORDS EDDY COUNTY, NEW MEXICO



## LEGEND

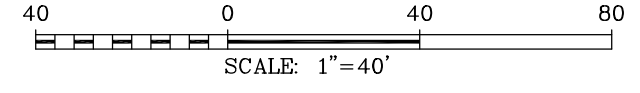
- ⊙ - SEPTIC LID
- ⊕ - CLEANOUT
- ⊞ - ELECTRIC METER POLE
- ⊗ - WATER METER
- ⊠ - R/V HOOKUP
- ⚡ - WATER SPIGOT
- ⊕ - FIRE HYDRANT
- x — - METAL FENCE
- c — c — ● - OVERHEAD UTILITY LINE W/POWER POLE
- w — - BURIED WATER LINE (APPROX. LOCATION)
- / / / / - BURIED ELECTRIC LINE (APPROX. LOCATION)
- o — o — - PIPE FENCE
- ▨ - CINDER BLOCK FENCE
- △ - CONCRETE

**REFERENCE DOCUMENT:**  
SUMMARY REPLAT (CAB. 2, SLIDE 52-3)

**UTILITY NOTE:**  
THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND HAVE BEEN PROVIDED BY THE CLIENT. THE SURVEYOR WAS NOT PROVIDED WITH ANY UNDERGROUND PLANS OR SURFACE GROUND MARKINGS TO DETERMINE THE LOCATION OF ANY SUBTERRANEAN USES.

**NOTE:**  
This site plan is based on previous inspections. No monuments were set. This tract is subject to all easements, restrictions and reservations shown or on record. THIS IS NOT A BOUNDARY SURVEY AND MAY OR MAY NOT BE SUFFICIENT FOR THE SURVEY EXCEPTION FROM AN OWNER'S TITLE POLICY. IT MAY OR MAY NOT REVEAL ENCROACHMENTS, OVERLAPS, CONFLICTS IN BOUNDARY LINES, SHORTAGES IN AREA, OR OTHER MATTERS WHICH WOULD BE DISCLOSED BY AN ACCURATE BOUNDARY SURVEY. IT SHOULD NOT BE USED FOR THE ESTABLISHMENT OF WALLS & FENCES. The above information may be based on boundary information taken from a previous survey and may not reflect that which may be disclosed by a boundary survey.

**HARCROW SURVEYING, LLC**  
 2316 W. MAIN ST, ARTESIA, N.M. 88210  
 PH: (575) 746-2158  
 c.harcrow@harcrowsurveying.com



SURVEY DATE: MARCH 3, 2026	SITE PLAN
DRAFTING DATE: MARCH 19, 2026	PAGE: 1 OF 1
APPROVED BY: CH	DRAWN BY: SP
	FILE: 26-120

**Description and Duration of Temporary Use:**

Personal use of 5 RV spaces on new residential property I am purchasing for my family and personal use. This property is not being purchased for commercial or business purposes. RV spaces currently exist that are not permitted through the City with Temporary Housing. I am interested in making the RV spaces right with City of Carlsbad per the temporary housing process for my personal use. Property is serviced by City water/refuse, electric and septic system.

**Site Plan:**

*See attached site plan. Revised site plan with water & electric lines forthcoming from Harcrow Surveying.*

**FOR OFFICIAL USE ONLY:**

Approved       Approved with Conditions       Denied      By: \_\_\_\_\_

Approval Date: \_\_\_\_\_      Permit Expiration Date: \_\_\_\_\_

Conditions of approval:

SEC. 56-80. TEMPORARY USES.

(a) **Allowed Uses.**

Temporary uses shall be allowed in accordance with the standards of the zoning district and this subsection. These uses require written permission from the property owner and an approved Temporary Use Permit from the Planning Director and in some cases a Business Registration, unless otherwise expressly permitted or allowed.

1. **Carnivals, Circuses, Fairs and Public Events.** Carnivals, circuses, fairs and public events shall only be approved by the City Council on a case by case basis and shall be in accordance with all applicable regulations. Permission of the property owner is required.
2. **Garage, estate and yard sales.** Garage, estate and yard sales require a Temporary Use Permit but do not require a business registration and may be conducted, but shall comply with the following minimum requirements:
  - (a) There shall be no more than two such activities per residence per twelve month period;
  - (b) Each sale shall begin and end within a consecutive seventy-two hour (72 hr.) period;
  - (c) Sales shall be conducted on the property of the person selling the goods. Multiple home sales must be held on the property of one or more of the participants;
  - (d) No goods purchased for resale may be offered for sale or sold and no consignment goods may be offered for sale or sold;
  - (e) Directional and advertising signs shall not be located in the public right-of-way or attached to utility poles or other structures located in the public right-of-way; and
  - (f) All directional or advertising signs shall be removed within twenty-four hours (24 hrs.) of the completion of the sale.
3. **Natural Disaster and Emergency Personal Assistance Locations.** Temporary uses and structures needed to provide personal services as the result of a natural disaster or other health and safety emergency are allowed for the duration of the emergency and do not require a temporary use permit or business registration.
4. **Parking Lot Sales.** Permission of the property owner is required for parking lot sales. Parking lot sales may include the sale of rugs, blankets, fruits, vegetables, and other such items but does not include the sale of live animals, which is prohibited. Parking lot sales are allowed in the parking lot of a permitted structure or use in the C-1, C-2, and I zoning districts for up to thirty (30) consecutive days at a time.
5. **Real Estate Sales Offices.** Sales offices are allowed on development sites in any zone until all lots or houses are sold. Use of the sales office for lots or homes outside of the project area is prohibited.
6. **Recreational Vehicle as a Temporary Dwelling.** A property owner may be permitted to reside in a recreational vehicle, for up to six months (6 mos.), on a building site where a residential building permit has been issued.
7. **Recreational Vehicle as a Temporary Office.** A business owner or contractor may be permitted to utilize a recreational vehicle as an office, for up to six months (6 mos.), on a building site where a commercial building permit has been issued.
8. **Recreational Vehicle for a Night Watchman or Security Guard.** A business owner may be permitted to utilize a recreational vehicle as an office for a night watchman or security guard, provided it is not used as a residence.
9. **Restaurant, Mobile and Pushcarts.** Prior to issuance of a Temporary Use Permit, the applicant is required to provide the City with copies of all approved State of New Mexico permits and City Fire Marshall inspections and a signed affidavit from the property owner authorizing the placement of a mobile restaurant or pushcart on their property.
  - a. Operation of a mobile restaurant or pushcart, in conjunction with a special event, is limited to the duration of the special event.
  - b. If not in conjunction with a special event, operation of a mobile restaurant or pushcart shall be limited to the R-R, C-1, C-2, and I zoning districts. If in conjunction with a special event, operation of a mobile restaurant or push cart shall be permitted any zoning district.
10. **Temporary Housing/RV Park.** Temporary Housing is defined as: "Housing for individuals or families, on a temporary basis, either in pre-fabricated, self-contained modular structures with other

amenities, OR individual self-contained recreational vehicles, not including tents, truck campers or camper shells. Specifically for the purpose of this definition, Temporary Housing may also be referred to as crew-camp housing, work force housing, congregate residence or employee housing. Residents living within the temporary housing may be employed solely by one company, industry or project or may be employed by a variety of employers.”

Temporary Housing, self-contained is defined as: “Temporary Housing that does not require connection to city utilities, is served by an independent waste water and freshwater delivery service, and that includes sleeping, cooking, dining, toilet and shower facilities, contained within an individual RV or contained within individual or multiple modular structures.”

- c. Temporary Housing is permitted only on land currently (as of the date of approval of these regulations) zoned “C-2” Commercial District, “R-R” Rural Residential District, and “I” Industrial District, excepting the area that constitutes the Carlsbad Airport Industrial Park (CAIP), with a minimum of two acres for the temporary housing area, and where primary access to the area of Temporary Housing is from an Arterial Street, as defined in the Code of Ordinances. The acreage requirement for a Temporary Use Permit for Temporary Housing is not subject to the Appeal (Variance) process as defined in Sec. 56-150(k) of this Zoning Ordinance. All Temporary Use Permit applications for Temporary Housing must fully meet the acreage requirements listed within this section.
- d. The land on which a Temporary Housing Use is permitted shall be properly addressed for 911 purposes.
- e. Temporary Housing shall be connected to city water and sewer utilities or completely self-contained, except for electrical service, which shall be obtained from the service provider. All electrical work must be conducted by a licensed electrician and City electrical permits and inspections are required. The use of generators is prohibited except in an emergency power outage situation.
- f. A site plan shall be provided that identifies:
  - a. the location of all pre-fabricated modular units and/or RV spaces with required setbacks and spacing between units; and
  - b. ingress and egress locations: a minimum of 1 with a minimum width of 24’ combined with an emergency turnaround of at least 100’; and
  - c. vehicular drive aisles - minimum width of 24’ with no on-street parking, minimum chip seal or gravel paving and graded to prevent ruts, muddy and dangerous driving surfaces. Vehicular drive aisles shall remain clear of all obstructions, including vehicles and trailer/RV towing hitches or tongues; and
  - d. emergency access and turn around, if necessary, (minimum 100’ diameter); and
  - e. RV spaces shall be a minimum 20’ in width and 60’ in length, or shall contain an equal amount of square footage (1,200 sq. ft.). There shall be a minimum 14’ between the sides of all recreational vehicles, and a minimum of 8’ between the backs of all recreational vehicles. Any structure, including awnings, attached to or touching a RV shall, for purposes of this separation requirement, be considered part of the RV.
  - f. parking spaces (1 - 9’x18’ space per sleeping unit or recreational vehicle space) Each RV space shall contain within the 20’ minimum width and 60’ minimum length at least one parking space designed for the inhabitant of said RV space. No vehicular parking next to a RV space, or otherwise, shall be allowed to extend past the boundary of said RV space or into the vehicular drive aisle.; and
  - g. visitor parking spaces (1 – 9’x18’ space for every 4 sleeping units) in designated visitor parking area; (one handicap parking space required if park is open to the public) and
  - h. the location of amenities such as park areas, swimming pool, picnic tables and/or recreational activity areas, if provided.
  - i. a utility plan that shows the location, size and details of all lines located on the site as well as connections to temporary housing and any connections to city utilities. The utility plan shall also show the plan and layout for solid waste disposal.
  - j. the location of fire hydrants (*or alternative fire suppression system as approved by the Fire Marshal*) at the entrance of the development, if fire suppression is deemed necessary for the development.
- g. A grading and drainage plan is not required because permanent changes to the site, including grading, are not permitted.

- h. A minimum 6' tall solid (chain link with slats not allowed) perimeter fence (or 20' landscaping buffer complete with vegetation designed to screen the Temporary Development from neighboring properties. Landscaping shall be installed, irrigated and maintained – refer to Sec. 56-110 of this Zoning Ordinance for details concerning approved vegetation and other landscaping requirements.) shall be erected between the area of the site utilized for temporary housing and parking and the public Right-of-Way or any adjacent residentially zoned properties. A non-solid perimeter fence shall be allowed between the Temporary development and any non-residentially zoned property, or any undeveloped property, regardless of zoning. Any solid fence erected shall have the finished side facing the public ROW or adjacent properties to the Temporary Housing development. The purpose of this fence is to define the temporary housing area and to prevent litter and debris from blowing onto adjacent land. A building permit for the fence is required.
- i. A 20' set back from this fence shall be maintained free of obstructions at all times.
- j. A minimum 10' clear separation between all temporary structures shall be maintained at all times.
- k. A minimum 30' set-back from the front property line shall be maintained. This area may be used for landscaping or parking but may not be used for temporary housing units or RV spaces.
- l. If not connecting to City sewer facilities, a copy of a NMED approved Sanitation Plan shall be provided to the City. At a minimum, the Sanitation Plan shall indicate the type of service (storage tank, septic system, daily pick up, etc.) and the sanitary service provider's name and contact information, type of sanitary services provided (grey water, black water, fresh water, litter control, trash collection), the location of proposed solid waste containers, to be approved by the City Utilities Department, the schedule or frequency for such service provision, and the responsible party for immediate clean up if a spill occurs. All temporary housing units and/or RVs must be provided sanitary service on a regular basis, as needed, and identified in the Sanitation Plan.
- m. The Sanitation provider shall comply with all Federal, State, and Local regulations including obtaining a permit from the City Wastewater Department.
- n. Permission to connect to City water and/or sewer facilities is dependent upon approval from the Utilities Department Director. The Director may require detailed plans regarding the size and location of the lines and connections. The developer is responsible for costs associated with the installation of, and connection to, the City facilities, both within the public right-of-way, if applicable, and within the private property used for the temporary housing. All construction work, including connections, will require the proper City permits and inspections will be conducted by the City in order to protect the health, safety and welfare of future temporary housing residents.
- o. Temporary Housing shall not be located within a floodway as delineated on the City's Flood Insurance Rate Maps.
- p. City Code Enforcement personnel may conduct unscheduled periodic inspections of the temporary housing use to ensure regulations and conditions are met.
- q. If the applicant has provided a professional site plan that meets all of the aforementioned requirements, staff shall forward the request to the Planning and Zoning Commission for their recommendation to the City Council. The City Council shall make the final decision regarding the issuance of a Temporary Use Permit for Temporary Housing. The City Council may approve a permit for up to five years. The applicant may seek renewal for the Temporary Housing development if the following considerations and requirements are met:
  - a. the temporary development has not been deemed a public nuisance as determined by the need for repeated police response to the development due to criminal or unsavory behavior of the inhabitants
  - b. the temporary development has remained compliant under the existing City codes, and has avoided repeated violations as determined by City Code Enforcement
  - c. it is determined by the Planning Director that the need for temporary housing still exists within the community. If renewal is requested by an applicant, City staff will verify if a need still exists by contacting permitted RV Parks and mobile home parks to assess vacancy rates.
  - d. upon application for permit renewal, the property owner must submit a detailed plan that indicates what the permanent long term plan for the property shall be, and that the long term plan will be fulfilled within the additional five year renewal. No additional permit renewals will be allowed. *(All Temporary RV Parks currently approved at the time of the passing of this amendment, 3-26-2019, and operating will be allowed two permit renewals.)*

- e. prior to approving a permit renewal, the Fire Marshal shall review the site plan and provide a report indicating fire suppression requirements, including quantity and location of fire hydrants or on-site facilities to be installed immediately. No additional five year renewal will be granted unless the Fire Marshal's requirements are met.
  - r. A Temporary Use Permit for Temporary Housing may be revoked by the City Administrator upon finding that:
    - k. the temporary housing is unsafe
    - l. the housing or grounds are unsanitary
    - m. crime or safety issues are prevalent
  - s. If approved, you are required to contact the City Clerk to obtain a lodger's tax application.
  - t. Water and sewer fees will be based on the number of spaces approved by City Council, not the number of occupied spaces.
  - u. An approved Temporary Use Permit for Temporary Housing runs with the land and is transferrable to the new land owner for the remainder of the permit timeframe. After expiration of the permit, the new owner may apply for a renewal, as provided for in item #16 above.
  - v. The permit period begins when the first unit is placed on-site. The permit period ends as specified by the City Council and renewals expire as specified by the Planning Director.
11. Other Uses. The Planning and Zoning Commission may approve other temporary uses and activities or special events. Such uses shall not jeopardize the health, safety or general welfare, or be injurious or detrimental to properties near the proposed location of the activity. Such uses shall comply with all applicable ordinances, laws, rules, regulations, codes and policies.

**(b) General Regulations.**

1. All temporary uses shall comply with the provisions of this Section:
- (a) Permanent changes to the site are prohibited;
  - (b) Permanent signs are prohibited. All temporary signs associated with the temporary use shall comply with all applicable ordinances, laws, rules, regulations, codes and policies and shall be placed no more than seventy-two hours (72 hrs.) in advance of the event, and shall be removed within twenty-four hours (24 hrs.) of the end of the event;
  - (c) Temporary uses shall not violate any applicable conditions of approval that apply to the principal use on the site;
  - (d) All other required permits and licenses, such as health department permits, shall be obtained; and
  - (e) Temporary uses shall be subject to site plan review as required by the Temporary Use Permit process.
2. Approval Criteria.
- The Planning Director may approve a Temporary Use Permit if it is determined that all of the following conditions are met:
- (a) That the proposed site is adequate in size and shape to accommodate the temporary use;
  - (b) That the proposed site is adequately served by streets or highways having sufficient width and improvements to accommodate the kind and quantity of traffic that such temporary use will or could reasonably generate;
  - (c) That adequate parking to accommodate vehicular traffic to be generated by such use will be available either on-site or at alternate locations (with an approved alternative parking plan);
  - (d) That the operation of the requested use at the location proposed and within the time period specified will not endanger, jeopardize or otherwise constitute a menace to the public health, safety or general welfare; and
  - (e) All other required permits have been obtained.
3. Conditions of Approval.
- In approving Temporary Use Permits, conditions may be imposed as necessary to reduce or minimize any potential adverse impact upon adjacent property. Conditions shall relate to an impact created or aggravated

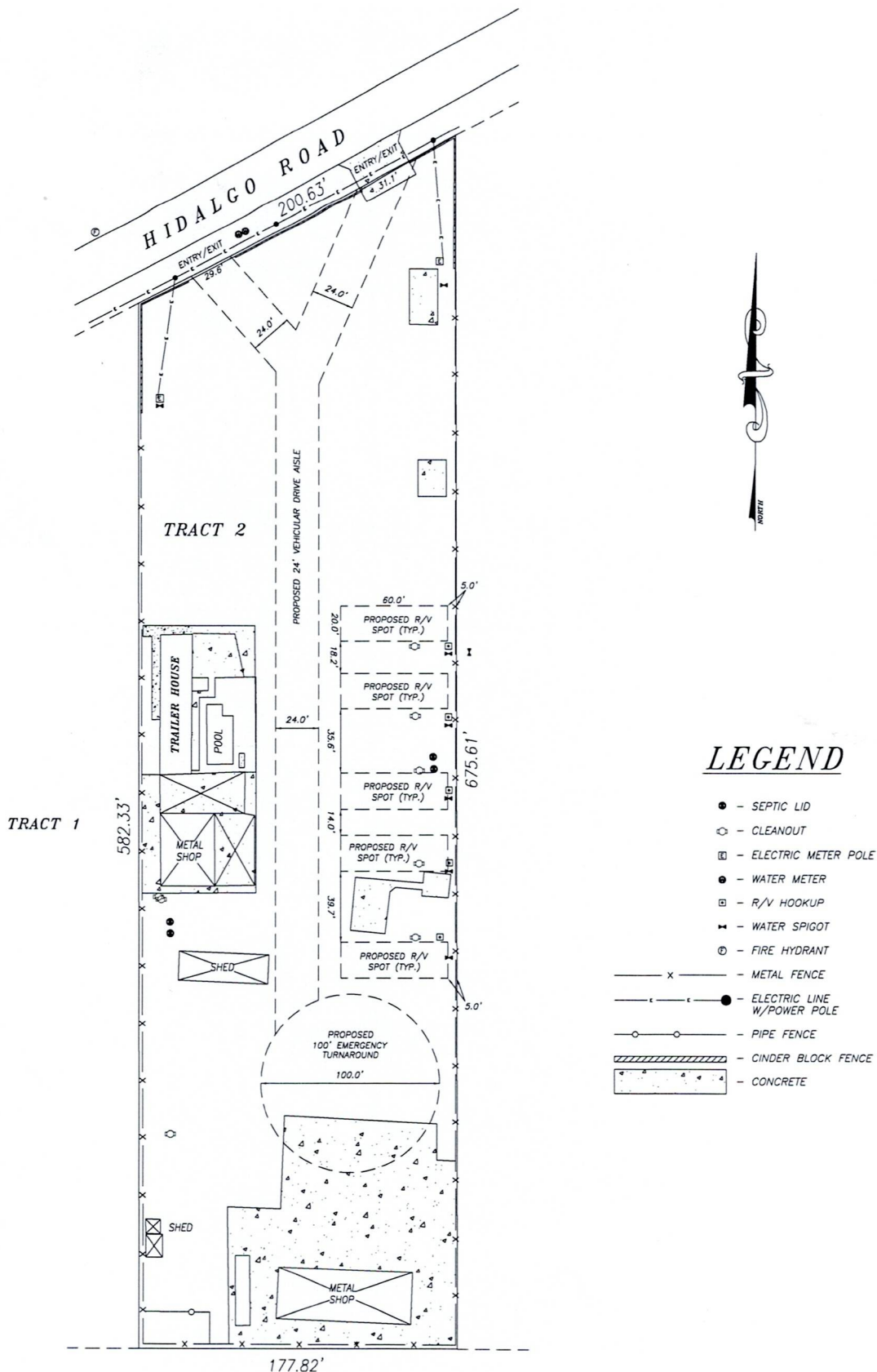
by the proposed use and shall be roughly proportional to the impact. For example, any or all of the following conditions may be imposed:

- (a) Provision of temporary parking facilities, including vehicular access, ingress, and egress;
- (b) Control of nuisance factors such as, but not limited to, the prevention of glare or direct illumination of adjacent properties, dirt, dust, gases, heat, noise, odors, smoke and vibrations;
- (c) Limits on temporary buildings, facilities and structures, including height, placement and size, and location of equipment and open spaces, including buffer areas and other setbacks;
- (d) Provision of medical and sanitary facilities;
- (e) Provision of solid waste collection and disposal;
- (f) Provision of safety and security measures;
- (g) Regulation of operating hours and days, including limitation of the duration of the temporary use to a shorter time period than that requested or specified in this Section;
- (h) Submission of a performance bond or other financial guarantee to ensure that any temporary buildings, facilities or structures used for such proposed temporary use will be removed from the site within a reasonable time following the event and that the property will be restored to its former condition; and
- (i) Other conditions deemed appropriate by the City Administrator.



# PRELIMINARY SITE PLAN

TRACT 2 AS SHOWN IN SUMMARY REPLAT FILED IN CABINET 2, SLIDE 52-3, OFFICIAL RECORDS EDDY COUNTY, NEW MEXICO



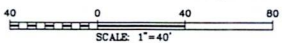
## LEGEND

- - SEPTIC LID
- - CLEANOUT
- ⊞ - ELECTRIC METER POLE
- ⊙ - WATER METER
- ⊞ - R/V HOOKUP
- ⊞ - WATER SPIGOT
- ⊙ - FIRE HYDRANT
- x — - METAL FENCE
- ● — - ELECTRIC LINE W/POWER POLE
- ○ — - PIPE FENCE
- ▨ - CINDER BLOCK FENCE
- ▨ - CONCRETE

REFERENCE DOCUMENT:  
SUMMARY REPLAT (CAB. 2, SLIDE 52-3)

**NOTE:**  
This site plan is based on previous inspections. No monuments were set. This tract is subject to all easements, restrictions and reservations shown or on record. THIS IS NOT A BOUNDARY SURVEY AND MAY OR MAY NOT BE SUFFICIENT FOR THE SURVEY EXCEPTION FROM AN OWNER'S TITLE POLICY. IT MAY OR MAY NOT REVEAL ENCROACHMENTS, OVERLAPS, CONFLICTS IN BOUNDARY LINES, SHORTAGES IN AREA OR OTHER MATTERS WHICH WOULD BE DISCLOSED BY AN ACCURATE BOUNDARY SURVEY. IT SHOULD NOT BE USED FOR THE ESTABLISHMENT OF WALLS & FENCES. The above information may be based on boundary information taken from a previous survey and may not reflect that which may be disclosed by a boundary survey.

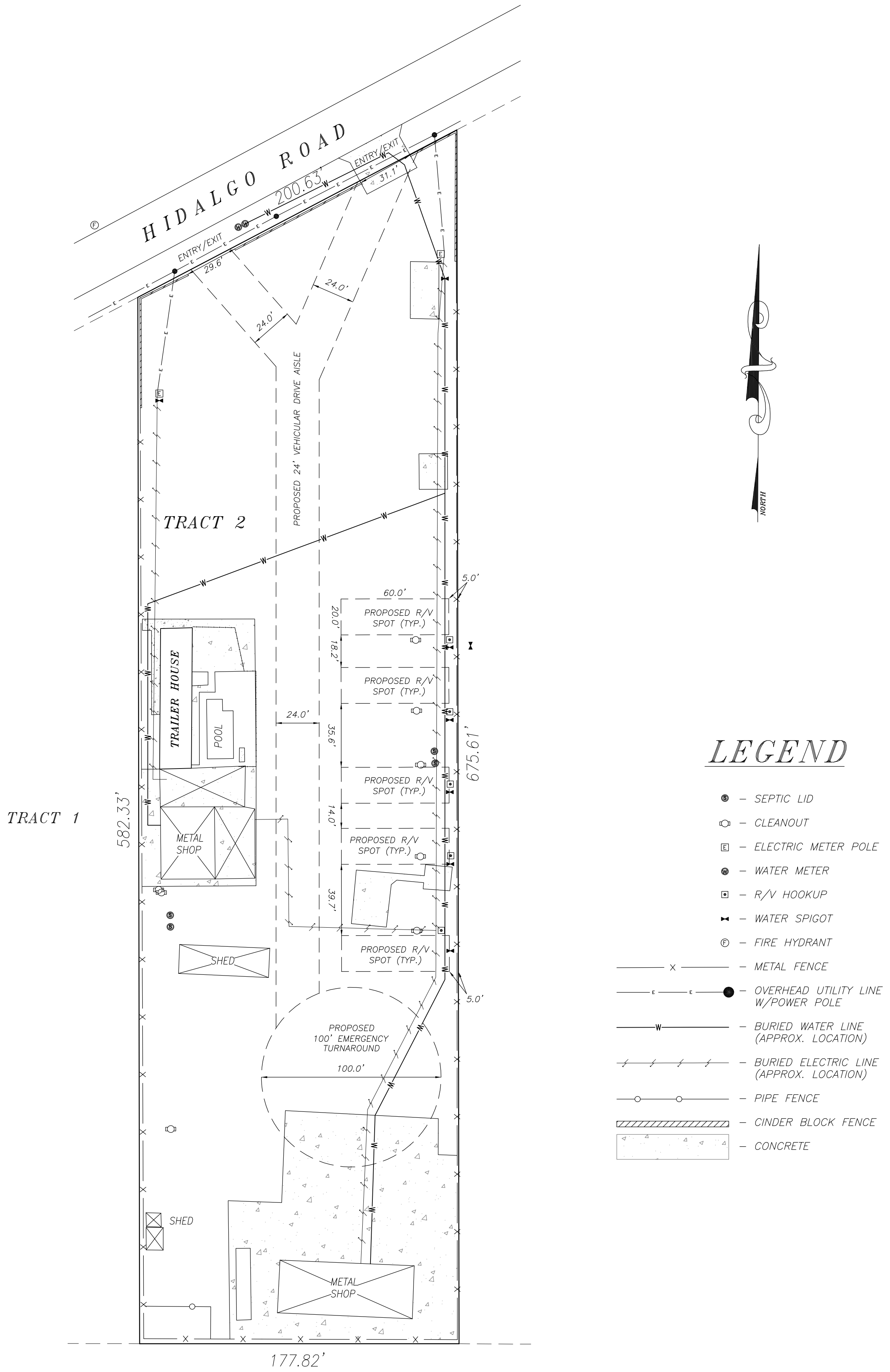
HARCROW SURVEYING, LLC  
2316 W. MAIN ST. ARTESIA, N.M. 88210  
PH: (575) 746-2158  
c.harcrow@harcrowsurveying.com



SURVEY DATE: MARCH 3, 2026	SITE PLAN
DRAFTING DATE: MARCH 19, 2026	PAGE: 1 OF 1
APPROVED BY: CH	DRAWN BY: CH

# PRELIMINARY SITE PLAN

TRACT 2 AS SHOWN IN SUMMARY REPLAT FILED IN CABINET 2, SLIDE  
52-3, OFFICIAL RECORDS EDDY COUNTY, NEW MEXICO



## LEGEND

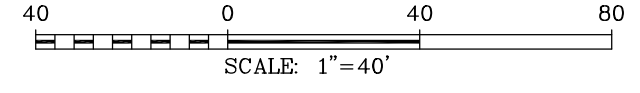
- ⊙ - SEPTIC LID
- ⊕ - CLEANOUT
- ⊞ - ELECTRIC METER POLE
- ⊗ - WATER METER
- ⊠ - R/V HOOKUP
- ⊡ - WATER SPIGOT
- ⊕ - FIRE HYDRANT
- x — - METAL FENCE
- c — ● - OVERHEAD UTILITY LINE W/POWER POLE
- w — - BURIED WATER LINE (APPROX. LOCATION)
- / / / - BURIED ELECTRIC LINE (APPROX. LOCATION)
- o — - PIPE FENCE
- ▨ - CINDER BLOCK FENCE
- △ - CONCRETE

**REFERENCE DOCUMENT:**  
SUMMARY REPLAT (CAB. 2, SLIDE 52-3)

**UTILITY NOTE:**  
THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND HAVE BEEN PROVIDED BY THE CLIENT. THE SURVEYOR WAS NOT PROVIDED WITH ANY UNDERGROUND PLANS OR SURFACE GROUND MARKINGS TO DETERMINE THE LOCATION OF ANY SUBTERRANEAN USES.

**NOTE:**  
This site plan is based on previous inspections. No monuments were set. This tract is subject to all easements, restrictions and reservations shown or on record. THIS IS NOT A BOUNDARY SURVEY AND MAY OR MAY NOT BE SUFFICIENT FOR THE SURVEY EXCEPTION FROM AN OWNER'S TITLE POLICY. IT MAY OR MAY NOT REVEAL ENCROACHMENTS, OVERLAPS, CONFLICTS IN BOUNDARY LINES, SHORTAGES IN AREA, OR OTHER MATTERS WHICH WOULD BE DISCLOSED BY AN ACCURATE BOUNDARY SURVEY. IT SHOULD NOT BE USED FOR THE ESTABLISHMENT OF WALLS & FENCES. The above information may be based on boundary information taken from a previous survey and may not reflect that which may be disclosed by a boundary survey.

**HARCROW SURVEYING, LLC**  
 2316 W. MAIN ST, ARTESIA, N.M. 88210  
 PH: (575) 746-2158  
 c.harcrow@harcrowsurveying.com

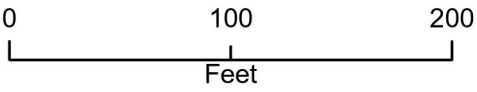


SURVEY DATE: MARCH 3, 2026	SITE PLAN
DRAFTING DATE: MARCH 19, 2026	PAGE: 1 OF 1
APPROVED BY: CH	DRAWN BY: SP
	FILE: 26-120



Temporary RV Spaces  
3501 Hidalgo Rd.  
Carlsbad, NM

3/24/2026



- Parcels**
- Yellow outline
- Zoning**
- C-1 (Red)
  - C-2 (Blue)

**Legend**

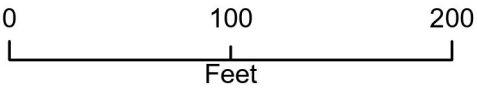
- I (Brown)
- PUD (Yellow)
- R-1 (Pink)
- R-2 (Light Orange)
- R-R (Green)





Temporary RV Spaces  
3501 Hidalgo Rd.  
Carlsbad, NM

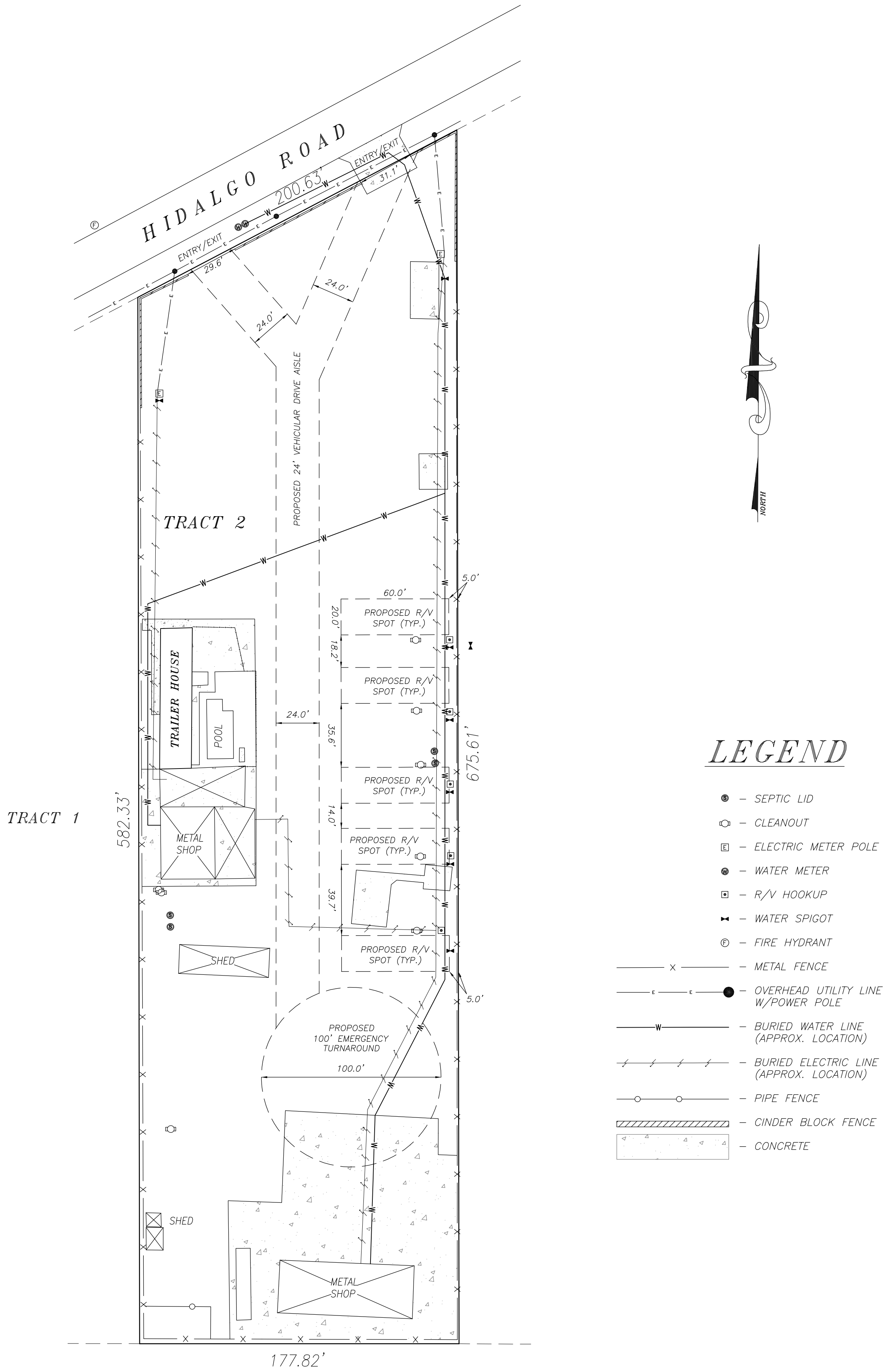
3/24/2026





# PRELIMINARY SITE PLAN

TRACT 2 AS SHOWN IN SUMMARY REPLAT FILED IN CABINET 2, SLIDE  
52-3, OFFICIAL RECORDS EDDY COUNTY, NEW MEXICO



## LEGEND

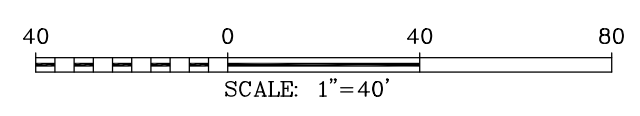
- ⊙ - SEPTIC LID
- ⊕ - CLEANOUT
- ⊞ - ELECTRIC METER POLE
- ⊗ - WATER METER
- ⊠ - R/V HOOKUP
- ⊡ - WATER SPIGOT
- ⊕ - FIRE HYDRANT
- x — - METAL FENCE
- c — ● - OVERHEAD UTILITY LINE W/POWER POLE
- w — - BURIED WATER LINE (APPROX. LOCATION)
- / / / - BURIED ELECTRIC LINE (APPROX. LOCATION)
- o — - PIPE FENCE
- ▨ - CINDER BLOCK FENCE
- △ - CONCRETE

**REFERENCE DOCUMENT:**  
SUMMARY REPLAT (CAB. 2, SLIDE 52-3)

**UTILITY NOTE:**  
THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND HAVE BEEN PROVIDED BY THE CLIENT. THE SURVEYOR WAS NOT PROVIDED WITH ANY UNDERGROUND PLANS OR SURFACE GROUND MARKINGS TO DETERMINE THE LOCATION OF ANY SUBTERRANEAN USES.

**NOTE:**  
This site plan is based on previous inspections. No monuments were set. This tract is subject to all easements, restrictions and reservations shown or on record. THIS IS NOT A BOUNDARY SURVEY AND MAY OR MAY NOT BE SUFFICIENT FOR THE SURVEY EXCEPTION FROM AN OWNER'S TITLE POLICY. IT MAY OR MAY NOT REVEAL ENCROACHMENTS, OVERLAPS, CONFLICTS IN BOUNDARY LINES, SHORTAGES IN AREA, OR OTHER MATTERS WHICH WOULD BE DISCLOSED BY AN ACCURATE BOUNDARY SURVEY. IT SHOULD NOT BE USED FOR THE ESTABLISHMENT OF WALLS & FENCES. The above information may be based on boundary information taken from a previous survey and may not reflect that which may be disclosed by a boundary survey.

**HARCROW SURVEYING, LLC**  
 2316 W. MAIN ST, ARTESIA, N.M. 88210  
 PH: (575) 746-2158  
 c.harcrow@harcrowsurveying.com

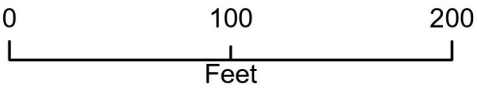


SURVEY DATE: MARCH 3, 2026	SITE PLAN
DRAFTING DATE: MARCH 19, 2026	PAGE: 1 OF 1
APPROVED BY: CH	DRAWN BY: SP
	FILE: 26-120



Temporary RV Spaces  
3501 Hidalgo Rd.  
Carlsbad, NM

3/24/2026



- Parcels**
- Yellow outline
- Zoning**
- C-1 (Red)
  - C-2 (Blue)

**Legend**

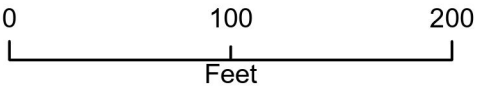
- I (Brown)
- PUD (Yellow)
- R-1 (Pink)
- R-2 (Light Orange)
- R-R (Green)





Temporary RV Spaces  
3501 Hidalgo Rd.  
Carlsbad, NM

3/24/2026





# JENKINS FURNITURE INC. REPLAT & LAND DIVISION

WITHIN SECTION 30, T21S, R27E, N.M.P.M.  
WITHIN THE CITY OF CARLSBAD  
EDDY COUNTY, NEW MEXICO  
FEBRUARY, 2026

**DESCRIPTION:**

A CERTAIN TRACT OF LAND SITUATE WITHIN SECTION 30, T21S, R27E, N.M.P.M. AND COMPRISING OF PORTIONS OF LOTS 1, BLOCK 5 ALL OF LOT 3, BLOCK 5 OF THE LA HUERTA SUBDIVISION FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF EDDY COUNTY, NEW MEXICO ON JUNE 23, 1891 IN CABINET 2 SLIDE 96-1; SAID PORTIONS BEING DESCRIBED IN WARRANTY DEED FILED FOR RECORD IN THE OFFICE OF THE EDDY COUNTY CLERK IN BK. 1091 PG. 582; ALSO COMPRISING OF LOT 2-A-1, AS SHOWN ON THE PLAT ENTITLED "LINE ADJUSTMENT TO JENKINS LAND DIVISION 2" FILED FOR RECORD ON JULY 6, 2022 IN CABINET 8 SLIDE 387.

SAID PARCELS BEING REPLATTED AND DIVIDED AS SHOWN HEREON AND NOW TO BE KNOWN AS LOT 1-B, LOT 2-A-1-B, LOT 3-A, AND LOT 3-B OF THE "JENKINS FURNITURE INC. REPLAT & LAND DIVISION", CARLSBAD, EDDY COUNTY, NEW MEXICO, ALONG WITH THE FILING DATE AND PLAT CABINET AND SLIDE NUMBER ASSIGNED TO THIS PLAT.

**PURPOSE:**

The purpose of this plat is to Replat the lines between that portion of Lot 1 Block 5 & Lot 3 Block 5 as shown on plat recorded in Cabinet 5 Slide 108 and the easterly line of Lot 2-A-1 as shown on plat recorded in Cabinet 8 Slide 387; and to Divide the remaining southeasterly portion as shown hereon. One (1) new lot is being created hereon, no new easements being created.

**SURVEY NOTES:**

1. Date of field survey February, 2026.
2. Unless otherwise noted all set property corners are 5/8" rebar with plastic I.D. caps impressed "MDN 17821"
3. Basis of bearings is GRID NM East zone NAD 1983, Distances are ground. Ground to Grid factor = 0.99976505 convergence = 00°03'28.35"
4. The property shown hereon is subject to all Easements, Conditions, Restrictions, and Reservations of record or in existence. No title commitment was provided for this survey and all easements may not be shown hereon.
5. The property shown hereon is within flood zone "X" (areas outside the 0.2% annual chance floodplain) as shown on F.E.M.A., F.I.R.M. community panel No. 35015C1055D, effective June 4, 2010.
6. File name: JNKNSRE2.ZAK, & TCMHP.CSV

**APPROVAL BY THE CITY PLANNING COMMISSION**

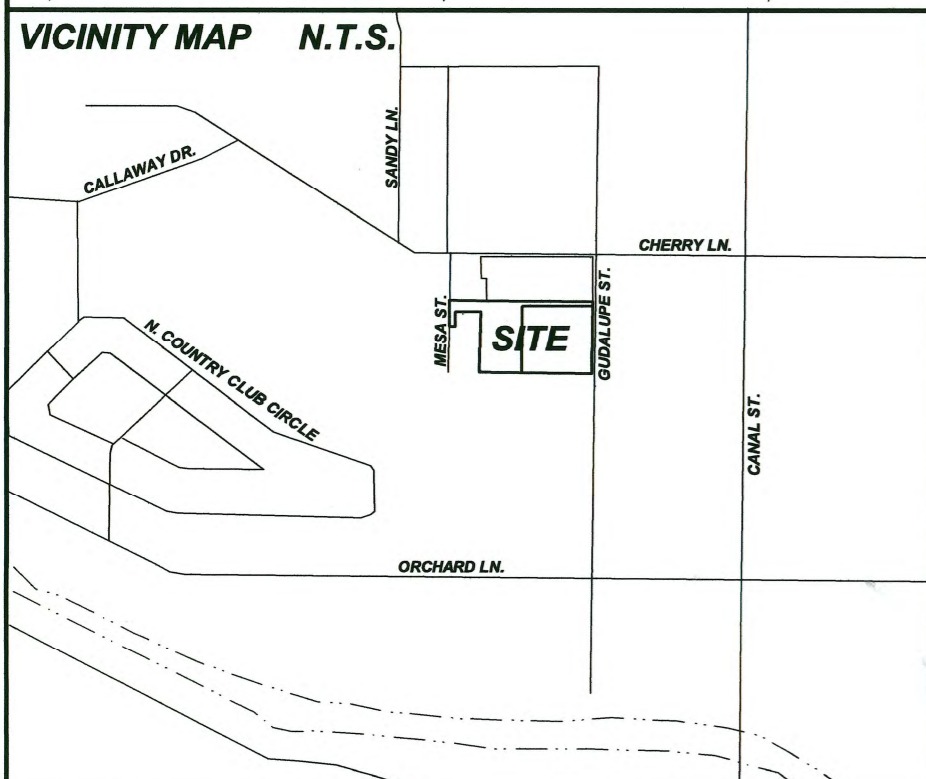
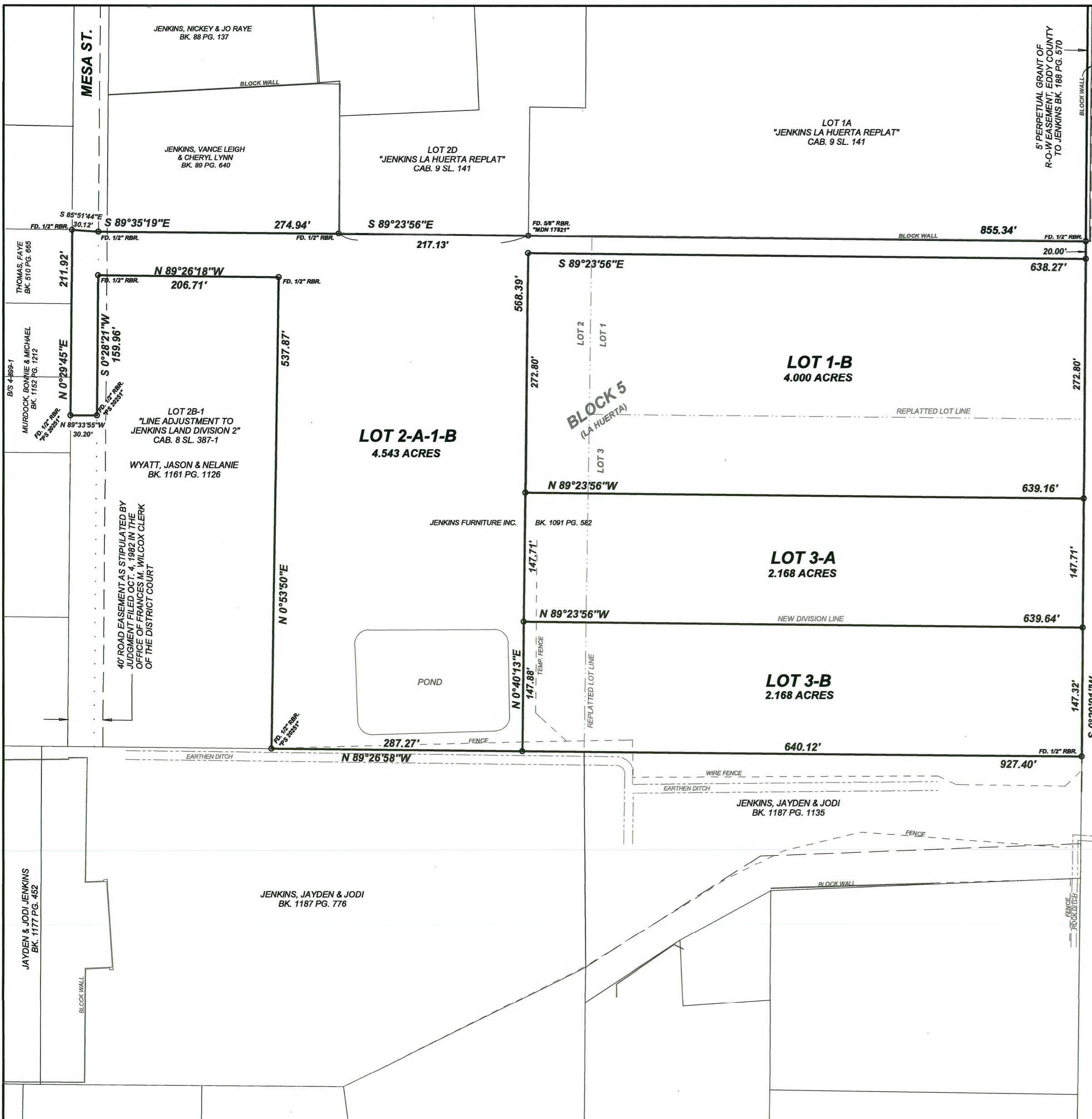
THIS IS TO CERTIFY THAT THIS PLAT HAS BEEN APPROVED BY THE PLANNING COMMISSION, OR ITS DESIGNEE, OF THE CITY OF CARLSBAD, EDDY COUNTY, NEW MEXICO ON THIS 5 DAY OF March, 2026

*Matthew D. Norman*  
COMMISSION DESIGNEE

**SURVEYORS CERTIFICATE**

I, Matthew D. Norman, a New Mexico registered Professional Land Surveyor, certify that I conducted and am responsible for this survey, that this survey is true and correct to the best of my knowledge and belief, and that this survey and plat meet the Minimum Standards for Surveying in New Mexico.

*Matthew D. Norman* 3/2/26  
Matthew D. Norman, P.S. 17821 Date



**OWNERS STATEMENT AND AFFIDAVIT:**

The undersigned being first duly sworn on oath, state:

As owner and proprietor I have of my own free will and consent caused this plat with its lots and existing access to be platted. The property described hereon lies within the platting jurisdiction of CITY OF CARLSBAD PLANNING JURISDICTION, Eddy County, NM.

Owner(s): Jayden Jenkins Vice President Jenkins Furniture, INC.

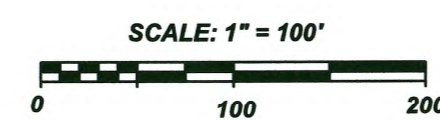
State of NM  
SS  
County of Eddy

The foregoing instrument was ACKNOWLEDGED before me this 3 day of

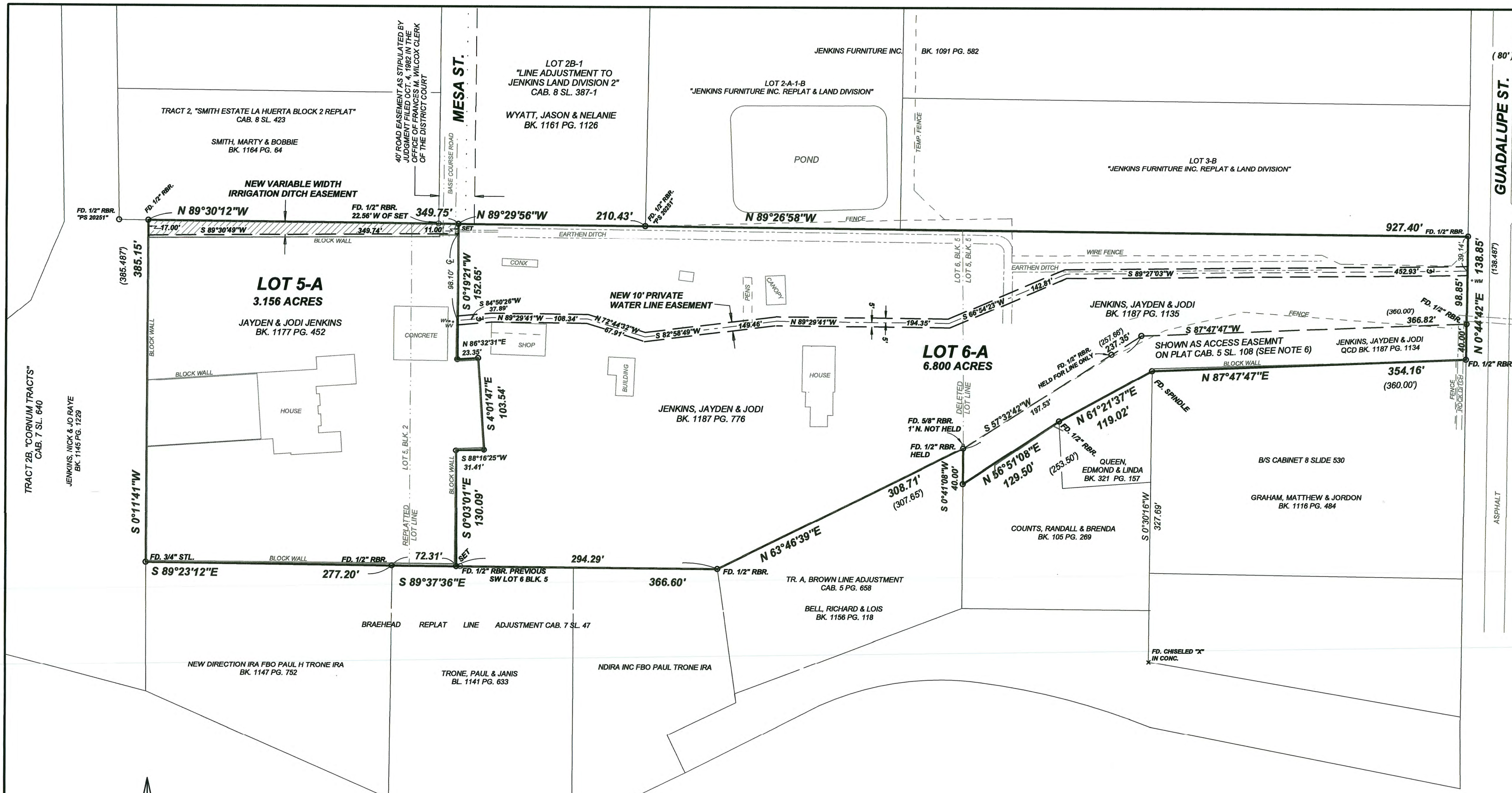
March, 2026, by Jayden Jenkins

My commission expires: June 28 2026  
Notary Public: Shaundra Norman

SHAUNDR BETH NORMAN  
Notary Public - State of New Mexico  
Commission # 1138270  
My Comm. Expires Jun 28, 2026



FILING AND RECORDING INFORMATION	
INDEXING INFORMATION FOR COUNTY CLERK	 401 W. GREENE ST. CARLSBAD, NM 88220 (575) 234-3505
ASSESSED OWNER(S): Jenkins Furniture Inc. SECTION(S): 30, T21S, R27E, N.M.P.M. TOTAL ACREAGE: 12.879 ACRES SUBDIVISION: within La Huerta	



# JENKINS, JAYDEN & JODI REPLAT SURVEY

WITHIN SECTION 30, T21S, R27E, N.M.P.M.  
 WITHIN THE CITY OF CARLSBAD  
 EDDY COUNTY, NEW MEXICO  
 MARCH, 2026

**PURPOSE:**

The purpose of this plat is to Replat the lines between that portion of Lot 6 Block 5 & Lot 5 Block 2 and to delete the line between the portions of Lots 5 & 6, Block 5, La Huerta, all previously shown on plat recorded in Cabinet 5 Slide 108; and to create the new 10' private water line easement and new variable width irrigation ditch easement as shown. No additional new lots being created by this plat.

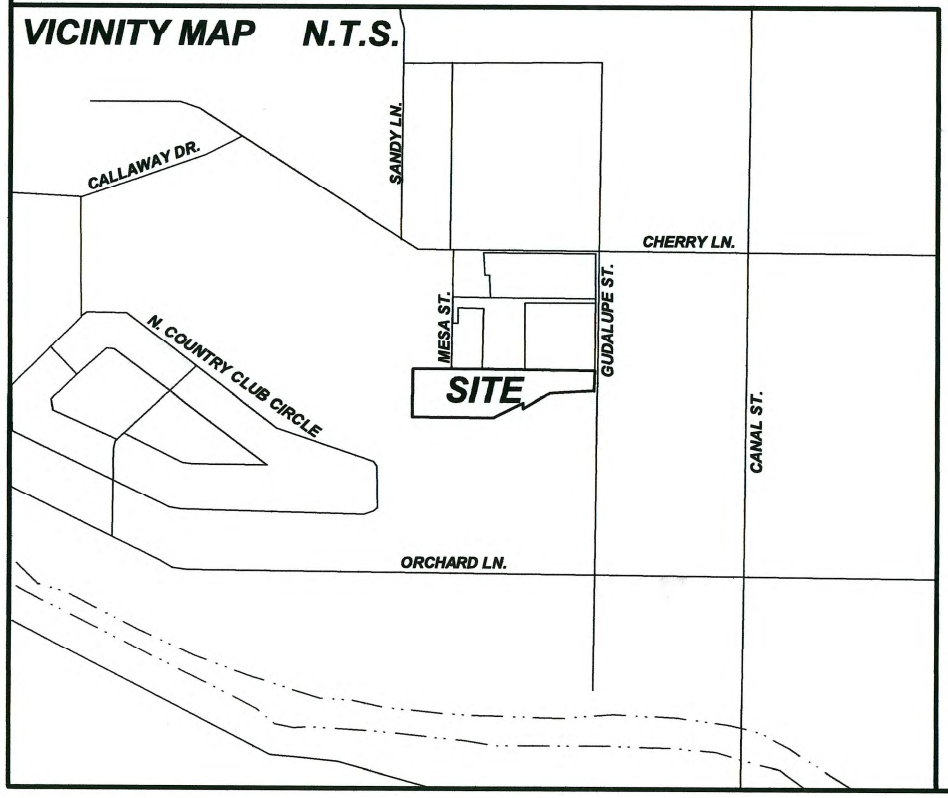
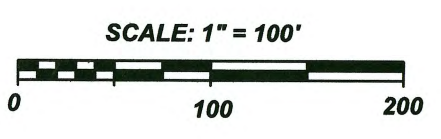
**SURVEY NOTES:**

1. Date of field survey February, 2026.
2. Unless otherwise noted all set property corners are 5/8" rebar with plastic I.D. caps impressed "MDN 17821"
3. Basis of bearings is GRID NM East zone NAD 1983, Distances are ground. Ground to Grid factor = 0.99976505 convergence = 00°03'28.35"
4. The property shown hereon is subject to all Easements, Conditions, Restrictions, and Reservations of record or in existence. No title commitment was provided for this survey and all easements may not be shown hereon.
5. The property shown hereon is within flood zone "X" (areas outside the 0.2% annual chance floodplain) as shown on F.E.M.A., F.I.R.M. community panel No. 35015C1055D, effective June 4, 2010.
6. The area shown as the +/- 40' "ACCESS EASEMENT" had conflicting descriptions of record; the South adjoining deed descriptions and occupational evidence were used as best available evidence for retracement purposes.
7. Course data in parenthesis is from plat of record (Cab. 5 Slide 108) when field measured data to found points differ by an amount exceeding accuracy prescribed by the Minimum Standards for Land Surveyors in NM.
8. File name: JNKNSRE3.ZAK, & TCMHP.CSV

**DESCRIPTION:**

A CERTAIN TRACT OF LAND SITUATE WITHIN SECTION 30, T21S, R27E, N.M.P.M. AND COMPRISING OF PORTIONS OF LOTS 5 AND 6, BLOCK 5 ALL OF LOT 5, BLOCK 2 OF THE LA HUERTA SUBDIVISION FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF EDDY COUNTY, NEW MEXICO ON JUNE 23, 1891 IN CABINET 2 SLIDE 96-1; ALSO SHOWN ON PLAT ENTITLED "BOUNDARY SURVEY SECOND AMENDED" FILED FOR RECORD ON SEPTEMBER 3, 2009 IN CABINET 5 SLIDE 108-1. SAID PORTIONS BEING FURTHER DESCRIBED IN QUITCLAIM DEEDS TO JENKINS, JAYDEN & JODI FILED FOR RECORD IN THE OFFICE OF THE EDDY COUNTY CLERK IN BK. 1177 PG. 452, BK. 1187 PG. 776, BK. 1187 PG. 1135, & BK. 1187 PG. 1134.

SAID PARCELS BEING REPLATTED AS SHOWN HEREON AND NOW TO BE KNOWN AS LOT 5-A, AND LOT 6-A OF THE "JENKINS, JAYDEN & JODI REPLAT SURVEY", CARLSBAD, EDDY COUNTY, NEW MEXICO, ALONG WITH THE FILLING DATE AND PLAT CABINET AND SLIDE NUMBER ASSIGNED TO THIS PLAT.



**OWNERS STATEMENT AND AFFIDAVIT:**

The undersigned being first duly sworn on oath, state:  
 As owner and proprietor I have of my own free will and consent caused this plat with its lots, new water line easement and new irrigation ditch easement and existing access to be platted. The property described hereon lies within the platting jurisdiction of CITY OF CARLSBAD PLANNING JURISDICTION, Eddy County, NM.

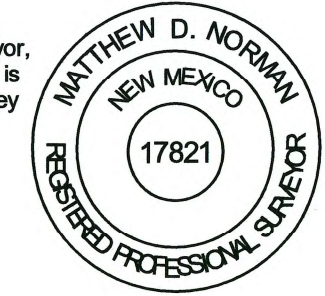
Owner(s): Jayden Jenkins & Jodi Jenkins  
 State of NM  
 County of Eddy  
 The foregoing instrument was ACKNOWLEDGED before me this 3 day of March, 2026, by Jayden Jenkins & Jodi Jenkins  
 My commission expires: June 28 2026  
 Notary Public: Shaundra Norman

SHAUNDR BETH NORMAN  
 Notary Public - State of New Mexico  
 Commission # 1138270  
 My Comm. Expires Jun 28, 2026

**SURVEYORS CERTIFICATE**

I, Matthew D. Norman, a New Mexico registered Professional Land Surveyor, certify that I conducted and am responsible for this survey, that this survey is true and correct to the best of my knowledge and belief, and that this survey and plat meet the Minimum Standards for Surveying in New Mexico.

Matthew D. Norman 3/3/26  
 Matthew D. Norman, P.S. 17821 Date



**APPROVAL BY THE CITY PLANNING COMMISSION**

THIS IS TO CERTIFY THAT THIS PLAT HAS BEEN APPROVED BY THE PLANNING COMMISSION, OR ITS DESIGNEE, OF THE CITY OF CARLSBAD, EDDY COUNTY, NEW MEXICO ON THIS 5 DAY OF March, 2026.

Matthew D. Norman  
 COMMISSION DESIGNEE

<b>FILING AND RECORDING INFORMATION</b>  	
<b>INDEXING INFORMATION FOR COUNTY CLERK</b> ASSESSED OWNER(S): Jenkins, Jayden & Jodi SECTION(S): 30, T21S, R27E, N.M.P.M. TOTAL ACREAGE: 9.956 ACRES SUBDIVISION: within La Huerta	 401 W. GREENE ST. CARLSBAD, NM 88220 (575) 234-3505